



City of El Cajon

Planning Commission Agenda

Tuesday, February 7, 2023 Meeting

7:00 PM

DARRIN MROZ, Chair
 REBECCA POLLACK-RUDE, Vice Chair
 PAUL CIRCO
 SHANNON EDISON
 ANTHONY SOTTILE

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to planning@elcajon.gov before 5 p.m. on Tuesday, February 7, 2023. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619-441-1742, option 3, as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of January 17, 2023

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Tuesday, February 21, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

PUBLIC HEARINGS

Agenda Item:	2	
Project Name:	East County Crematorium	
Request:	Crematorium	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	DENY	
Project Number:	Conditional Use Permit (CUP) No. 2022-0005	
Location:	1034 North Magnolia Avenue	
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619-654-7532	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the continued public hearing; and 2. MOVE to adopt the next resolution in order DENYING CUP No. 2022-0005. 	

5. OTHER ITEMS FOR CONSIDERATION

6. STAFF COMMUNICATIONS

7. COMMISSIONER REPORTS/COMMENTS

8. ADJOURNMENT

This Planning Commission meeting is adjourned to February 21, 2023 at 7 p.m.



MINUTES PLANNING COMMISSION MEETING January 17, 2023

The meeting of the El Cajon Planning Commission was called to order at 7:02 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Darrin MROZ (Chair)
Rebecca POLLACK-RUDE (Vice Chair)
Paul CIRCO
Anthony SOTTILE

COMMISSIONERS ABSENT: Elizabeth VALLES

STAFF PRESENT: Noah ALVEY, Deputy Director of Community Development
Mario SANCHEZ, Deputy Director of Public Works
Barbara LUCK, Staff Attorney
Spencer HAYES, Associate Planner
Laura JUSZAK, Administrative Secretary

Chair MROZ opened the Planning Commission meeting explaining the rules of conduct.

PUBLIC COMMENT:

There was no public comment.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of December 6, 2022

Motion was made by SOTTILE, seconded by CIRCO, to approve the December 6, 2022 minutes; motion carried 4-0, with VALLES absent.

PUBLIC HEARING ITEM:

Agenda Item:	2	
Project Name:	Charter School – Kidinnu Academy	
Request:	Primary Charter School – TK through Grade 5	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	APPROVE	
Project Number:	Conditional Use Permit (CUP) No. 2022-0016	
Location:	1701 Granite Hills Drive	
Applicant:	Kidinnu Academy; 619-938-4864	
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0016 subject to conditions. 	

HAYES summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with HAYES providing answers.

MROZ opened the public hearing.

Project applicant Christin BARKAS spoke in support of the project and answered Commissioners' questions.

Project architect Dan MANNIX spoke in support of the project and answered Commissioners' questions.

Motion was made by MROZ, seconded by CIRCO, to close the public hearing; motion carried 4-0, with VALLES absent.

Commissioners discussed the item.

Motion was made by CIRCO, seconded by SOTTILE, to adopt the next resolution in order approving the CEQA exemption and CUP-2022-0016; motion carried 4-0, with VALLES absent.

Agenda Item:	3
Project Name:	Ventasso Battery Energy Storage System
Request:	Battery Energy Storage System
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Conditional Use Permit (CUP) No. 2022-0015
Location:	203 North Johnson Avenue
Applicant:	Scott Schwartz, RWE Solar Development, LLC; 415-361-1455; scott.schwartz@rwe.com
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	3. Conduct the public hearing; and 4. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0015 subject to conditions.

ALVEY summarized the staff report through a PowerPoint presentation.

Commissioners asked questions with ALVEY providing answers.

MROZ opened the public hearing.

Steve ROBINSON representing Literacy First Charter School requested a longer wall separating the school from the project.

Project representative Rudy CIAVARELLA spoke in support of the project and answered Commissioners' questions.

Motion was made by MROZ, seconded by SOTTILE, to close the public hearing; motion carried 4-0, with VALLES absent.

Commissioners discussed the project and asked staff about the status of other battery storage projects that had been in front of the Planning Commission.

Motion was made by CIRCO, seconded by SOTTILE, to adopt the next resolution in order approving the CEQA exemption and CUP-2022-0015, directing staff to add a condition regarding the wall separating the property from Literacy First Charter School; motion carried 4-0, with VALLES absent.

Agenda Item:	4	
Project Name:	East County Crematorium	
Request:	Crematorium	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	DENY	
Project Number:	Conditional Use Permit (CUP) No. 2022-0005	
Location:	1034 North Magnolia Avenue	
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619-654-7532	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	5. Conduct the public hearing; and 6. MOVE to adopt the next resolution in order DENYING CUP No. 2022-0005.	

ALVEY summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with ALVEY providing answers.

MROZ opened the public hearing.

Project consultant Michael AGUILAR spoke in support of the item, opposing the recommendation to deny.

Ernie KASSOFF, with the equipment manufacturer, spoke in support of the item, opposing the recommendation to deny.

Jan KELLEY, a crisis response volunteer, spoke in support of the item, opposing the recommendation to deny.

Lillian SOTO, a customer of the applicant, spoke in support of the item, opposing the recommendation to deny.

Mortuary manager Jonathan JABORO spoke in support of the item, opposing the recommendation to deny.

Dured ZAKAR filled out a speaker card and ceded time to JABORO.

Joey BRIKHO filled out a speaker card and ceded time to JABORO.

Eddy BRIKHO filled out a speaker card and ceded time to JABORO.

El Cajon resident and attorney Alfred ATALLAH spoke in support of the item, opposing the recommendation to deny.

Applicant Robert ZAKAR spoke in support of the item, opposing the recommendation to deny.

Motion was made by CIRCO, seconded by MROZ, to close the public hearing; motion carried 4-0, with VALLES absent.

Motion was made by MROZ, seconded by CIRCO, to continue CUP-2022-0005 to February 7, 2023, and request that staff prepare a draft resolution of approval for consideration by the Planning Commission at the continued public hearing; motion carried 4-0, with VALLES absent.

Agenda Item:	5	
Project Name:	Vacationer RV Park	
Request:	Expand RV Park	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	APPROVE	
Project Number:	Conditional Use Permit (CUP) No. 2022-0008	
Location:	1581 East Main Street	
Applicant:	RV Capital Group, LLC; 619-850-0343	
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	7. Conduct the public hearing; and 8. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0008 subject to conditions.	

HAYES summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with HAYES providing answers.

MROZ opened the public hearing.

Project engineer Cole STAFFORD spoke in support of the item.

Project engineer Andre KANN spoke in support of the item.

Motion was made by MROZ, seconded by SOTTILE, to close the public hearing; motion carried 4-0, with VALLES absent.

COMMISSIONERS discussed the item.

Motion was made by SOTTILE, seconded by POLLACK-RUDE, to adopt the next resolution in order approving the CEQA exemption and CUP-2022-0016; motion carried 4-0, with VALLES absent.

OTHER ITEMS FOR CONSIDERATION:

STAFF COMMUNICATIONS:

Commissioners asked ALVEY about the status of construction at 101 East Main Street.

COMMISSIONER REPORTS/COMMENTS:

ADJOURNMENT:

Motion was made by MROZ, seconded by POLLACK-RUDE, to adjourn the meeting of the El Cajon Planning Commission at 9:19 p.m. this 17th Day of January, 2023, until 7:00 p.m., Tuesday, February 7, 2023; motion carried 4-0, with VALLES absent.

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary



City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2
Project Name:	East County Crematorium
Request:	Crematorium
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	DENY
Project Number(s):	Conditional Use Permit (CUP) No. 2022-0005
Location:	1034 North Magnolia Avenue
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619.654.7532
Project Planner:	Noah Alvey, nalvey@elcajon.gov , 619.441.1795
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the continued public hearing; and 2. MOVE to adopt the next resolution in order DENYING CUP No. 2205-0005.

PROJECT DESCRIPTION

The project proposes to expand an existing building at 1034 N. Magnolia Ave. and to perform cremation services and funerals within the expanded building, which will include areas for on-site cremation, funerals, and viewings, in addition to a lobby, meeting room, and a caretaker’s unit. A crematorium is a separately regulated use that requires approval of a Conditional Use Permit ("CUP"). Crematoriums are typically fueled by natural gas and are used to combust and incinerate human remains.

BACKGROUND

On January 17, 2023, the Planning Commission held a public hearing for the proposed crematorium, with 10 individuals registering support of the request, and continued the public hearing to February 7, 2023, while directing staff to prepare a draft resolution of approval for the proposed CUP. A draft resolution of approval is attached to this report as well as the January 17, 2023 agenda report, including the proposed resolution and previous public comments. An additional public comment is also attached and was received February 1, 2023 from Gershman Properties, LLC and recommends that the Planning Commission deny the proposed CUP.

ATTACHMENTS

1. Proposed Resolution APPROVING CEQA exemption
2. Proposed Resolution APPROVING CUP No. 2022-0005
3. Letter of Opposition from Gershman Properties, LLC dated February 1, 2023
4. January 17, 2023 Planning Commission Agenda Report

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15301 (EXISTING FACILITIES) AND 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR CONDITIONAL USE PERMIT NO. 2022-0005 FOR A CREMATORIUM IN THE C-R (REGIONAL COMMERCIAL) ZONE, GENERAL PLAN DESIGNATION: REGIONAL COMMERCIAL (RC); APN: 483-071-29-00.

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2022-0005, as submitted by East County Mortuary, Inc. (Robert Zakar), requesting approval of a crematorium in the C-R zone, on property located on the southwest corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.; and

WHEREAS, the El Cajon Planning Commission continued the public hearing to February 7, 2023, and directed staff to return with a proposed Planning Commission resolution with conditions approving the request; and

WHEREAS, in accordance with California Environmental Quality Act ("CEQA") Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, the project proposes to expand an existing building at 1034 N. Magnolia Ave. and to perform cremation services and funerals within the expanded building, which will include areas for on-site cremation, funerals, and viewings, in addition to a lobby, meeting room, and a caretaker's unit; and

WHEREAS, the existing building is approximately 4,330 square feet in area and the proposed addition is approximately 1,806 square feet in area; and

WHEREAS, the proposed project is exempt from CEQA under sections 15301, Class 1 (Existing Facilities) and 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines. Section 15301 provides an exemption for projects which include interior alterations involving such things as partitions, plumbing, and electrical conveyance. And, section 15303 provides an exemption for up to four commercial building additions not exceeding 10,000 square feet in floor area; and

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist; and

Proposed Planning Commission Resolution

WHEREAS, sections 15301 and 15303 provide an appropriate exemption for the proposed project and the record of proceedings contains evidence to support the determination that the Class 1 and Class 3 Categorical Exemptions apply; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for proposed crematorium.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the proposed CEQA exemption for the proposed crematorium.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held February 7, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2022-0005 FOR A CREMATORIUM IN THE C-R (REGIONAL COMMERCIAL) ZONE, GENERAL PLAN DESIGNATION: REGIONAL COMMERCIAL (RC); APN: 483-071-29-00.

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2022-0005, as submitted by East County Mortuary, Inc. (Robert Zakar), requesting approval of a crematorium in the C-R zone, on property located on the southwest corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.; and

WHEREAS, the El Cajon Planning Commission continued the public hearing to February 7, 2023, and directed staff to return with a proposed Planning Commission resolution with findings and conditions approving the request; and

WHEREAS, the following findings of fact are hereby made in regard to said matter:

- A. The proposed project is exempt from CEQA under sections 15301, Class 1 (Existing Facilities) and 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines. Section 15301 provides an exemption for projects which include interior alterations involving such things as partitions, plumbing, and electrical conveyance. And, section 15303 provides an exemption for up to four commercial building additions not exceeding 10,000 square feet in floor area.
- B. The proposed crematorium is consistent with the goals, policies or programs of the General Plan. Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon will solicit and encourage land use and facilities which provide services on a region-wide basis." The proposed crematorium will serve the east county region of San Diego County and will be the first crematorium in the City of El Cajon.
- C. The proposed project is consistent with all applicable use and development standards with an approved conditional use permit and with any necessary approvals from the San Diego Air Pollution Control District. The proposed use is also consistent with the Gillespie Field Airport Land Use Compatibility Plan.
- D. The proposed use will be compatible with existing and planned land uses in the vicinity because the building entrance is oriented away from adjacent commercial areas and towards Coogan Way and other industrial uses. Furthermore, proposed exterior signage is limited to building façade mounted signage.

- E. Odors, smoke and particulate matter emanating from the use will be regulated by the San Diego County Air Pollution Control District. The use is expected to be compatible with surrounding properties and uses in the vicinity if it operates in conformance with development standards and use regulations. Any violations of development standards or use regulations will be enforced by the City's Code Compliance.
- F. The public convenience and necessity will be served because cremation services are not available in El Cajon and the proposed use will allow individuals within east county to request cremation services in El Cajon that would otherwise need to travel outside of the City to obtain cremation services.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES Conditional Use Permit No. 2022-0005 for a crematorium in the C-R zone, on property located on the southwest corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave. and subject to the following conditions:

Planning

- 1. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, 24" by 36" digital site plan for Conditional Use Permit No. 2022-0005 that includes the following specific notes and changes:
 - A. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable" as well as the ongoing conditions listed in condition 4.
 - B. Include the El Cajon Title Block as shown in the "Additional Requirements for Planning Permits".
 - C. The site plan shall reflect the applicable comments and include all of the required notes from the Engineering comments section.
- 2. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.
 - B. Submit and receive approval of a Landscape Documentation Package pursuant to the requirements of El Cajon Municipal Code, Chapter 17.195. All exterior yard areas, exclusive of driveways, shall be landscaped. The LDP plans shall be consistent with the approved site plan and concept landscape plan.

Proposed Planning Commission Resolution

3. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Satisfy all requirements of the Building and Engineering conditions contained in this resolution of approval.
 - B. All landscaping and irrigation will be installed and a Certificate of Completion shall be provided to Planning.
 - C. All site improvements will be completed prior to building permit final.
4. The following shall be ongoing conditions of this Conditional Use Permit:
 - A. Signage shall be as depicted on the proposed elevations and in accordance with Chapter 17.190 of the El Cajon Municipal Code.
 - B. Caretaker unit shall be used for residential purposes only.
 - C. On-site parking shall be employees, visitors, and deliveries only.
 - D. There shall be no parking on adjacent properties.
5. The Planning Commission may at any time during the life of this use permit, after holding a new public hearing and considering testimony as to the operation of the approved use, add additional conditions as it deems necessary, to ensure that the approved use continues to be compatible with surrounding properties and continues to be operated in a manner that is in the best interest of public convenience and necessity and will not be contrary to the public health, safety or welfare.
6. The existence of this CUP shall be recorded with the County Recorder.
7. The proposed use shall be operated substantially as presented in the Planning Commission staff report titled CUP No. 2022-0005, dated February 7, 2023, except as modified by this resolution. Operation of the use in violation of the conditions of approval is grounds for revocation.
8. If all conditions of approval have not been satisfied or if the uses approved by this CUP have not been commenced, and if no request for an extension of time has been received, within two (2) years of the approval Planning Commission or by February 7, 2025, and subsequently approved, this CUP shall be considered null and void in accordance with El Cajon Zoning Code section 17.35.010.

Engineering and Storm Water

9. Upgrade the existing driveway along Coogan Way in accordance with San Diego Regional Standard Drawing, G-26:
<http://www.regional-stds.com/home/book/drawings/section-g>
10. Conduct a video inspection of the existing sewer lateral in accordance with El Cajon Municipal Code section 13.37.040, unless the project qualifies for an exception.

Proposed Planning Commission Resolution

11. Existing perimeter fence that is to be left in the public right-of-way will require the execution of a hold harmless agreement with the City.
12. Submit Stormwater Intake Forms 1-4 and I-5 and implement best management practices:
<https://www.elcajon.gov/home/showpublisheddocument/8189/637292870663900000>
13. Prepare an Erosion Control Plan in accordance with City's Jurisdictional Runoff Management Program:
<https://www.elcajon.gov/home/showpublisheddocument/21536/637165969857830000>
14. Add the following notes to the Condition Use Permit site plan:
<https://www.elcajon.gov/home/showpublisheddocument/26708/638040171758100000>
15. Construct the proposed trash enclosure in accordance with City standards:
<https://www.elcajon.gov/home/showpublisheddocument/21668/637201358836470000>

Building Safety

16. Construction permit applications and plans shall be required pursuant to all governing codes, statutes, and ordinances in effect at such time prior to commencement of any use authorized by this Conditional Use Permit.
17. Comply with currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held February 7, 2023, by the following vote:

AYES: CIRCO, MROZ, POLLACK-RUDE, SOTTILE
NOES: NONE
ABSENT: VALLES

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

February 1, 2023

Noah Alvey
Deputy Director of Community Development
City of El Cajon

Re: CUP 2022-005
Proposed Crematorium at 1034 N. Magnolia Avenue, El Cajon, CA (the “**Site**”)

Dear Mr. Alvey:

As you know, I am General Counsel of Gershman Properties, LLC (“**Gershman**”), which is the owner of the Fletcher Marketplace, located at 110 and 120 Fletcher Parkway in El Cajon, California (the “**Shopping Center**”), which is in close proximity to the Site.

I previously wrote to you, on January 13, 2023, to voice Gershman’s objection to East County Mortuary, Inc.’s application for the above-referenced conditional use permit (the “**Application**”). I understand that the City of El Cajon Planning Commission (the “**Commission**”) has continued the public hearing on this matter to February 7, 2023 (the “**Hearing**”). I am unable to attend the Hearing, so I want to further detail Gershman’s objections to the Application by this letter. Gershman’s other attorney, Heather Butterfield, will attend the Hearing, and she may voice further objections to the Application at that time.

I. The Application Is Contrary to the General Plan

As noted in the Commission’s Agenda Report for the January 17, 2023 hearing (the “**Report**”), “the proposed crematory is not consistent with the goals, policies, or programs of the General Plan” (see Report page 4; emphasis in the original). The inconsistencies with the General Plan are as follows:

A. The Application is at Odds with the Zoning Code

Policy 11-1.3 of the General Plan is that “the City shall protect the existing investment in the community through vigorous enforcement of codes and ordinances” (see General Plan, page 57). As noted in my January 13, 2023 letter, Gershman has invested millions of dollars in the Shopping Center with the expectation that the City will follow the General Plan and enforce the zoning applicable to the area.

1. The Site is Zoned for Regional Commercial Use, Which Does Not Include Crematorium Use

The Site is zoned for Regional Commercial use, which the General Plan identifies as compatible with large shopping centers, department stores, grocery stores, many clothing and shoe stores, jewelry stores, discount stores, governmental and cultural facilities, and high-rise developments with mixed uses (see General Plan, page 80). Notably absent from the uses allowed are crematoriums.

2. A Crematorium is *Per Se* an Industrial Use

A crematorium is patently an industrial use. It is a processing plant for human bodies. It will have a smokestack (the Application delicately calls this an “exhaust stack”), which is similar to other industrial plants. And it requires compliance with several industrial hazard laws, including a plan check from the Hazardous Materials Division of the Department of Environmental Health (see Report, page 4).

GERSHMAN PROPERTIES

The City has substantial land that is zoned for industrial use. But, instead of choosing a site with the correct zoning, the Application asks the Commission to overlook its attempt to place an industrial use outside of the industrial zone with this obfuscation “[c]emetaries, funeral homes, mortuaries, and crematories are located in all zoning districts, including ... commercial” (see Application, Response to Finding (b)). But one of these things is not like the other: crematories are the only industrial use on the list. And, contrary to the Application’s contention, zero of the crematoriums in our region are located in commercially-zoned areas (see Report, page 2, stating that “all other crematoriums in the region are in non-commercial areas”).¹ Accordingly, the Commission should deny the Application.

B. The Application is Contrary to the General Plan’s Requirement to Specially Protect Regional Commercial Areas

It is important to underline that it is not just that the Site is not zoned for a crematorium; and it is not just that the Application seeks to place an industrial use in a commercial zone. It is that the Site is in a specially protected Regional Commercial zone. Even in the general commercial zone, the General Plan notes the importance of “requir[ing] public review by conditional use permit to ensure compatibility with adjacent uses” (see General Plan, page 80). Indeed, policy 9-4.3 of the General Plan is that “commercial establishments shall be carefully integrated with the surrounding areas. Conflicts with residential or other sensitive land use should be minimized.” But, per the General Plan, the Regional Commercial portion of the commercial zone is even more protected than the general commercial zone because, as the General Plan notes, Regional Commercial centers are “very important locally because of their sales tax generation and their ability to provide for regional uses” (see General Plan, page 80). The General Plan lists several goals and policies to further the protection of regional commercial centers. Policy 13-1.3 states that “the City shall remain proactive in its efforts to attract regional uses into the El Cajon area” (see General Plan, page 58). Goal 9 states that “a strong, competitive, region-wide commercial base will be created and retained.” (see General Plan, page 51, emphasis added). Goal 13 similarly states that: “El Cajon will remain the Regional Center for East San Diego County” (see General Plan, page 58). In other words, if the Commission is considering a controversial use within a commercial zone, at the very least that zone should be the general commercial zone and not the Regional Commercial zone.

The Report specifically notes the threat a crematorium at the Site would create for General Plan’s goals of protecting the Regional Commercial zone and ensuring compatibility with the uses adjacent to the Site:

“The City has recently been successful in attracting new commercial development in the vicinity of the subject site. One of the newer uses in the vicinity is the Hampton Inn & Suites, which provides overnight lodging for travelers or visitors. The crematory would be visible from the Hampton Inn & Suites and travelers or visitors may have a negative perception of the use and choose to stay in different locations when travelling to the region in the future. Furthermore, the subject site is visible from State Route 67, as well as the off-ramps from south bound lanes to Parkway Plaza and the City’s downtown. Ongoing City efforts to attract additional investment and redevelopment at Parkway Plaza, surrounding commercial centers, and City’s downtown may be hindered if the crematorium is approved in a location that serves as a gateway to the City’s regional assets.” (See Report, page 4).

¹ Moreover, even if other crematoriums in the region were located in commercial zones (they are not), zoning compliance is an intensely local process, and each jurisdiction must assess whether a use complies with that jurisdiction’s own General Plan (see Neighborhood Action Group v. City of Calaveras (1984) 156 Cal.App.3d 1176).

The Commission should therefore reject the Application and require the applicant to resubmit for a site outside of the Regional Commercial zone. Gershman, the owner of the Hampton Inn², and several others have invested millions of dollars in the Regional Commercial zone, and the General Plan requires the Commission to protect this investment by enforcing the zoning codes, and specifically by enforcing the zoning of the Regional Commercial zone and ensuring that new uses in that zone are compatible with existing uses (see General Plan, pages 57, 58, and 80, goals 9 and 13, and policies 9-4.3, 11-1.3, 13-1.3).

C. The Application is at Odds with the General Plan's Numerous Goals, Objectives, and Policies Related to Avoiding Nuisances/Pollution and Unpleasing Aesthetics

1. There Are Significant Nuisance/Pollution Concerns If a Crematorium is Allowed at the Site³

The Application claims that no smoke or odors will emanate from the crematorium. And yet, the report from the manufacturer of the cremation mechanism that is attached to the Application admits that: (a) its mechanism merely reduces smoke and odor: "the possibility of smoke and particulate matter is reduced....The emissions (gases/products of combustion) are diluted to acceptable levels prior to being released to the exhaust stack" and (b) that the mechanism can smoke and produce odors during power outages: "the cremator would smoke...if power were lost"; "if the principals of combustion during the cremation process are not properly followed there is a possibility of an odor" (see the "smoke", "odor", and "smoke-odor-noise" sections of Exhibit A to the Application). The Report also notes this problem: "Odors, smoke and particulate matter may emanate from the use if the operation fails. Air Pollution Control District cannot guarantee that there will be no emissions of any kind when cremating human remains" (see Report, page 5).

A quick Google search of complaints made against crematoriums brings up several articles reporting on crematoriums that created nuisances by creating smoke, noxious odors, and/or an unpleasant humming noise. I attach one such article as Exhibit A to this letter, which is incorporated here by reference. As you will see, power malfunction (which is a significant issue in California and which even the Application notes is a potential problem that would cause smoke and odor), COVID-related deaths (another significant problem in California), machine maintenance issues, and/or human error can create situations in which crematoriums become a substantial blight upon the communities where they are located.

I also want to specifically mention the possibility of mercury contamination and/or pollution. As noted in the Report, the release of mercury vapor from the cremation process is a serious concern (see Report, page 3). And, although the Application goes to great lengths to show that cremation is less polluting than certain other industries, it does not contend that the levels of mercury exposure are less than those industries (instead the Application focuses on nitrogen dioxide, carbon monoxide, and particulate matter pollution). There have not yet been any significant studies regarding how mercury emissions from crematories impact surrounding communities. But, the Center for Disease Control notes that even "[a]t low vapor concentrations over a long time, neurological disturbances, memory problems, skin rash, and kidney abnormalities may occur. (see https://www.cdc.gov/biomonitoring/Mercury_FactSheet.html).

The General Plan contains numerous goals, policies, and objectives that are aimed to avoid the sort of nuisance/pollution/health concerns posed by the crematorium (see General Plan at pages 42, 43, 44, and 49 stating: (a) "[t]he livability of El Cajon will be maintained and enhanced through respect for the environment";

² Please note that the owner of the Hampton Inn pays certain common area charges to Gershman, so any negative impact on the Hampton Inn may well cause a significant loss of revenue to Gershman.

³ The Report notes that CEQA review is not applicable to the Application. To preserve the issue for any appeal, Gershman hereby contends that there is an argument to be made that the Application is subject to CEQA review.

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(b) the City must “[e]nsure that the physical environment of the El Cajon area is protected from adverse impact”; (c) the City should “[e]ncourage future land use planning and development which take into consideration the effects of noise upon the environment”; (d) the City should seek to “[a]chieve and maintain a level of air quality which has no significant adverse effects on human physical health, plant and animal life, material objects, weather or visibility”; and (e) the City should “[r]educ[e] levels of noise so they do not adversely affect the physiological, psychological or sociological well being of the citizens of El Cajon”.

2. The Crematorium’s Exhaust Stack Will Be Unsightly in the Regional Commercial Zone

The first goal listed in the General Plan is “[t]he City will improve its appearance through a variety of efforts” (see General Plan, page 13). The placement of a crematorium in a well-travelled part of the City will do exactly the opposite. The exhaust stack necessary for the crematorium will be an eyesore. And, if/when smoke emanates from the exhaust stack, it will be all the more unsightly. Even within industrial areas “unsightly areas shall be screened from residential and commercial areas” (see policy 4-4.4 of the General Plan at page 27). Clearly, putting a smokestack (nevertheless one that reminds onlookers of death) directly in a commercial area is contrary to this policy.

It is one thing to risk the nuisance, pollution, health, and aesthetic issues associated with a crematorium in an industrial setting, but to do so in a well-travelled regional commercial zone is unnecessary, undesirable, and contrary to the General Plan (see, e.g., Report at page 54, noting that aesthetics are subject to review in commercial areas; see also Report at page 91, noting that noise is regulated by zone, “with industrial zones...having more tolerant requirements”; see also General Plan at pages 13,27,42, 43, 44, and 49). Accordingly, the Commission should deny the Application and request the applicant to resubmit for a compatible site located within an industrial zone.

II. The Application Has Not Met the Burden Required for Issuance of a CUP

“As a general rule, conditional use permits do not authorize uses that the zoning ordinance does not authorize (see page 3 of “The Planner’s Training Series; The Conditional Use Permit, State of California Governor’s Office of Planning and Research, located at https://opr.ca.gov/docs/theconditionalusepermit_071997.pdf). In order to grant a conditional use permit, the granting authority must find that the proposed use is in the best interest of public convenience and necessity and will not be contrary to the public health, morals, or welfare (see Upton v. Gray (1969), 269 Cal.App.2d. 352; see also Hawkins v. County of Marin (1976) 54 Cal.App.3d. 586; see also O’Hagen v. Board of Zoning Adjustment (1971) 19 Cal.App.3d. 151 stating that “to obtain a use permit, the applicant must generally show that the contemplated use is compatible with the policies in terms of the zoning ordinances, and that such use would be essential or desirable to the public convenience or welfare, and will not impair the integrity and character of the zoned district or be detrimental to the public health, safety, morals, or welfare.”). Moreover, California caselaw is clear that “any use found to be objectionable or incompatible with the character of the city and its environs due to noise, dust, odors, or other undesirable characteristics may be prohibited (see Snow v. City of Garden Grove (1961) Cal.App.2d. 496). Crucially, a jurisdiction is powerless to approve a conditional use permit if it conflicts with the General Plan (see Neighborhood Action Group v. City of Calaveras (1984) 156 Cal.App.3d 1176).

The Application utterly fails to meet each of these burdens: (a) it does not show zoning authorization; (b) it does not show that having a crematorium in the Regional Commercial zone is in the public interest, necessary, or essential (at best, the Application makes a case that having a crematorium somewhere in the City is advantageous, but there is absolutely no support given for placing the crematorium in a Regional Commercial zone); and (c) as shown above and as noted in the Report, the General Plan contains numerous goals and policies which are directly contrary to allowing a crematory in the regional commercial zone; and (d) as

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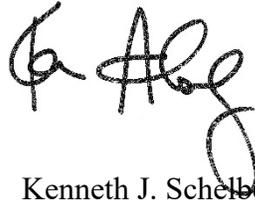
mentioned above and in the Report, there is significant risk that placement of a crematorium at the Site will cause issues for the public health and welfare. Therefore, the Application must be denied.

III. If the City Approves the Application, The City Will be Exposed to Liability

If the City approves the Application and allows the crematorium in the Regional Commercial zone, it will be subject to potential liability from adjacent property owners (under takings law) as well as from persons claiming ill effects from mercury vapors as well as any smoke/odors that emanate from the exhaust stack. It is in the best interest of the City to deny the Application and ask the applicant to resubmit for a compatible site in the City's vast industrial zone, where adjacent property owners will not have claims and where people's exposure to the area is limited.

Thank you for taking the time to read this letter. Please feel free to reach out to me if you have any questions before or after the hearing. Please also feel free to contact Heather (heatherb@gershmanproperties.com; 323-715-4254). We greatly appreciate you and the Committee considering our strong objections to the Application.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Schellberg", written in a cursive style.

Kenneth J. Schellberg
General Counsel

GERSHMAN PROPERTIES

Exhibit A
Cronkite News Article

GERSHMAN PROPERTIES

12300 Wilshire Blvd. Suite 310 Los Angeles, CA 90025 310 207 6562 gershmanproperties.com

Neighbors hope for relief from crematorium smoke as COVID-19 deaths decrease



Cremated remains lie in the incineration chamber at the Paradise Memorial Crematory in Scottsdale, one of the state's largest. Partly fueled by the pandemic, the U.S. cremation rate reached 56% in 2020; it was 67% in Arizona. (Photo by [Kevin Pirehpour](https://cronkitenews.azpbs.org/people/kevin-pirehpour/) (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News)

By [Kevin Pirehpour](https://cronkitenews.azpbs.org/people/kevin-pirehpour/)
(<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News

March 25, 2021

(<https://www.facebook.com/whatsupphoenix/>)
url=<https://cronkitenews.azpbs.org/2021/03/25/neighbors-hope-for-relief-from-crematorium-smoke-as-covid-19-deaths-decrease/>)

PHOENIX – Rows of cardboard boxes containing corpses line the walls of refrigerated storage containers, waiting for charred human remains to be cleared from the incineration chamber to make room for the next body.

The cremations continue through the night in a scene that has unfolded across America as COVID-19 deaths have risen to more than 540,000 (<https://www.cdc.gov/nchs/covid19/mortality-overview.htm>) over the past year.

In Arizona, where 16,842 have died in the pandemic, the smoke and the hum of crematoriums working overtime have left some neighbors desperate for relief from the odor and pollution.

Arizonans opt for cremation more frequently than the national average, with 67% choosing that option in 2020, according to a July 2020 report from the National Funeral Directors Association.

The national cremation rate reached 56% last year, an increase from 47.9% in 2015, the last reported year. The rise was fueled by the COVID-19 death toll and pandemic restrictions, the low cost of cremation services and the flexible timing for funeral arrangements with cremated ashes.

Some condo owners in east Scottsdale have taken notice of unexpected wafts of smoke and a lingering odor coming from the nearby Paradise Memorial Crematory near 93rd Street and Shea Boulevard.

“The smell was so unbearable that everybody needs to run into their houses,” said retiree Marlene Dove, who moved there in September. “If you have guests, they have to come in or they put things over their heads and their faces to keep the smell out.”

Her complaint is among 20 filed in Maricopa County regarding crematorium smoke from Feb. 27, 2020, to March 2, 2021. Records from Maricopa County Air Quality show the complaints include black or brown smoke and a “horrible odor.” Some residents claimed the emissions gave them sore throats.

Activity Date: 08/19/2020 Activity Time: 08:53

Activity Currently Occurring?: Yes

Facility ID:

Complaint Method: Phone

Complainant Remarks: CC and stated the yesterday morning and this morning there is a bad odor of smoke all outside to where they cannot breathe outside and it's coming from the crematory. They have seen something emitting, but is not seeing anything emitting now, but they can definitely smell it.

Location Description: PARADISE MEMORIAL CREMATORY/Crematory
9300 E Shea Blvd
Scottsdale 85260
Crossroads: Shea Blvd/92nd St
Zone: 2

“I understand that you have to take care of the dead,” Dove said. “But I also understand you have to take care of the living.”

Last April, Maricopa County Air Quality lifted a regulation prohibiting crematoriums from operating past sunset, giving them more time to cremate the increased number of COVID-19 deaths. That lift, which was extended in June and again in December, is in effect through May 31.

According to Arizona Department of Health Services [data \(https://www.azdhs.gov/preparedness/epidemiology-disease-control/infectious-disease-epidemiology/covid-19/dashboards/index.php\)](https://www.azdhs.gov/preparedness/epidemiology-disease-control/infectious-disease-epidemiology/covid-19/dashboards/index.php), the state saw surges in COVID-19 related deaths during the summer and winter, with a single-day high of 173 deaths reported Jan. 18.

The occasional smoke coming from crematorium chimneys is an inevitable byproduct of the cremation process, said James Ahearne, COO of Messinger Mortuaries, the company that oversees Paradise Memorial Crematory.

“Every crematory will smoke, if they tell you they don’t, they’re lying,” he said. “It’s just the way it is.”

Last year, Paradise Memorial Crematory – one of the largest in the state – cremated 6,868 bodies, an increase from 6,071 in 2019, before the pandemic began. From the start of 2021, Paradise Memorial already has cremated 1,931 bodies, Ahearne said, with much of those coming in January after the holidays. If the trend continues, 2021 could outpace last year.

Ahearne said a walk-in freezer used to store bodies at Paradise Memorial had 60 to 70 bodies backlogged in January, waiting to be cremated.



By 2030, the cremation rate in Arizona is expected to reach nearly 80%, the National Funeral Directors Association says.

Nationally, the median cost to bury an adult in a traditional ceremony is \$7,640, according to the association. In Arizona, it's \$6,906.

Cremations cost an average of \$6,645 nationally, with a cremation casket and urn, and about \$5,812 in Arizona, according to the association.

There's also the convenience of cremating now and organizing a service later at a particular destination, said Barbara Kemmis, executive director of the Cremation Association of North America.

With travel restrictions and social distancing guidelines in place for many states throughout the pandemic, cremation extends the time frame for grieving families to make decisions for the deceased.

As COVID-19 cremations surged across the country, so did neighbor's complaints about smoke and sore throats.

"That's completely a danger when they're overwhelmed and trying to do as many cases a day to return those cremated remains to loved ones," Kemmis said.

Issues with smoke coming from Paradise Memorial Crematory are not new but have seemingly worsened throughout the pandemic, said David Dubner, 79, who has filed multiple complaints with Maricopa County and is Dove's neighbor.

"There's not just been puffs but pouring smoke, sometimes for up to five, six minutes. (It) covers the whole area," Dubner said.

Neighbors hope for relief from crematorium smoke | Cronkite News



Black smoke billows from the Paradise Memorial Crematorium during a power outage March 2, interrupting an active cremation. (Video courtesy of David Dubner)

Three years ago, Paradise Memorial Crematory expanded the number of cremation ovens on their premises from three to six, Ahearne said, and plans to add another in the next five or six months.

“What we’re trying to do here is cremate as many as we have to for our clients and not smoke at all,” Ahearne said. “And unfortunately, sometimes we do.”

Throughout the pandemic, said Gregg Busch, funeral service manager at Neptune Society in Tempe, the increased number of COVID-related deaths and cremations has forced staff members to work into the night and put employees at risk of COVID-19 infection.

“Everybody is short-handed and everybody is struggling to keep up,” Busch said.

“Organizations like our own – which focus entirely on cremation – have been overwhelmed by the pandemic,” said Busch, who has more than 40 years of experience in the funeral industry. “Not only just the number of deaths that have occurred but also in the fact that our staff and our employees have many times become infected, which puts us even farther behind with low staffing.”

This wasn’t the first time crematoriums extended hours of operation to keep up with an increased number of deaths, he said, but “nothing compared to this.”

“It was certainly a difficult time during the H1N1 pandemic,” Busch said. “The COVID-19 pandemic is much more.”

An estimated 151,700 to 575,400 people worldwide died from the H1N1 “swine flu” pandemic in 2009, its first year of circulation, according to the Centers for Disease Control and Prevention.

In about the same time, more than 2.5 million people worldwide have died from COVID-19, according to the Johns Hopkins University of Medicine.

Dove tries to escape the emissions from Paradise Memorial Crematory by keeping her windows and doors shut – or leaving her complex. She has stopped inviting people to her home, and some of her neighbors refrain from using their patios, she said, because they never know when the “smell is going to hit.”

“We’re not unreasonable people,” Dove said. “We just need a break from this once in a while. I mean, it’s just continuously going.”

Crematorium emissions depend on the materials burned in the chamber, according to a 2020 Canadian study (<https://nccch.ca/documents/field-inquiry/crematoria-emissions-and-air-quality-impacts>), such as natural gas used to fuel incineration chambers and particulate matter and heavy metals, such as trace amounts of mercury from dental fillings.

The CDC says [obesity increases likelihood](https://www.cdc.gov/obesity/data/obesity-and-covid-19.html) (<https://www.cdc.gov/obesity/data/obesity-and-covid-19.html>) for severe illness and death from COVID-19, and bodies weighing more than 200 pounds generate



The ashes and bones of a cremated person are brushed into rectangle metal boxes before being placed in an urn for grieving loved ones. (Photo by [Kevin Pirehpour](https://cronkitenews.azpbs.org/people/kevin-pirehpour) (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News)

more smoke than those weighing less, Ahearne said. Paradise Memorial Crematory processes heavier bodies in the morning and the lighter ones in the afternoon and evening to limit visible pollution.

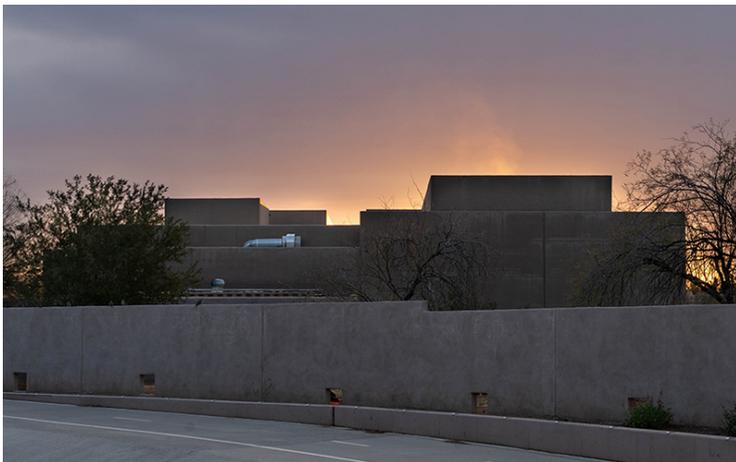
“The size of people that are dying of COVID are larger people,” he said. “Weight has a lot to do with the ability to cremate somebody, and when you can cremate them. When you have a lot of heavier people, you do those first thing in the morning.”

No matter the materials burned, or the weight of the deceased, crematoriums are allowed to release smoke visible up to 20% opacity in the air, according to Maricopa County Air Quality regulations.

The hazardous visible aerosol particles, referred to as particulate matter, that crematoriums emit is of “minimal” concern compared with the pollution caused by vehicle traffic or backyard bonfires, said Philip McNeely, director of the air quality department.



David Dubner and his neighbors have filed multiple complaints with Maricopa County Air Quality Department regarding smoke and odor coming from nearby Paradise Memorial Crematory.



Pale smoke rises from the Paradise Memorial Crematory in Scottsdale. Maricopa County in April lifted a regulation preventing crematoriums from operating past sunset, helping them deal with the increased number of COVID-19 deaths. (Photos by [Kevin Pirehpour](https://cronkitenews.azpbs.org/people/kevin-pirehpour/) (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News)

Left: David Dubner and his neighbors have filed multiple complaints with Maricopa County Air Quality Department regarding smoke and odor coming from nearby Paradise Memorial Crematory. **Right:** Pale smoke rises from the Paradise Memorial Crematory in Scottsdale. Maricopa County in April lifted a regulation preventing crematoriums from operating past sunset, helping them deal with the increased number of COVID-19 deaths. (Photos by [Kevin Pirehpour](https://cronkitenews.azpbs.org/people/kevin-pirehpour/) (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News)

The county sets crematorium emission standards and includes regulations to test for machine efficiency, times of operation and allows for 2,500 tons, or 5 million pounds, of total material to be burned within a 12-month period. All complaints are individually investigated by the department, McNeely said.

Although rare, accidents and machine malfunctions do happen, Ahearne said.

A power outage March 2 interrupted an active cremation at Paradise Memorial and sent black smoke billowing from the chimney for 5 to 10 minutes while the system shut down, Ahearne said.

“That was the worst I’ve seen,” he said. “I’ve been doing this for 50 years and it was just terrible. But once it starts, there’s nothing we can do.”

System malfunctions are not unique to Paradise Memorial Crematory and similar situations have been reported at other crematoriums in the Phoenix area.

One funeral director in Sun City reported a thermocouple, a sensor used to measure temperature, malfunction and told county investigators that “black smoke was visible for about 10 minutes” during a cremation, according to county records. The thermocouple was replaced and the investigation has been closed.

Despite unexpected malfunctions and the increased of cremations, the accompanying emissions still have significantly less of an environmental impact on total air quality than unregulated fires that burn at lower temperatures around 600-900 degrees, said Leif Abrell, an associate research scientist with the Arizona Laboratory for Emerging Contaminants at the University of Arizona.

A look at how crematories operate | Cronkite News



A box containing the body of a 173 pound man is sent to the incineration chamber at the Paradise Memorial Crematory on March 15. (Video by Kevin Pirehpour (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)/Cronkite News)

Burning trash or wood used in a bonfire increases “the potential for other noncarbon dioxide pollutants” to be released into the atmosphere compared to county regulated, high-temperature burning at crematoriums, Abrell said.

“That’s why one person burning trash in their backyard at a low temperature can kind of obliterate a whole bunch of work that’s done by other people (operating) at high temperatures according to regulation,” he said.

Although vehicle traffic and backyard fires of of greater concern for county regulators, Dove and Dubner are waiting for relief from both the pandemic and the smoke wafting from the crematorium chimney.

“You can’t be inside during COVID,” Dove said, “because you’re not supposed to be in a closed area with people, and you can’t sit outside because sooner or later the smell is going to come up.”

Ahearne said the number of cremations is incrementally decreasing, and lasting relief may be on the horizon as vaccines reach more Arizonans and fewer people test positive for COVID-19.

“Hopefully this pandemic thing will calm down and get back to kind of normal,” he said.



Kevin Pirehpour (<https://cronkitenews.azpbs.org/people/kevin-pirehpour/>)

News Reporter, Phoenix

Kevin Pirehpour expects to graduate in spring 2021 with a bachelor’s degree in journalism from ASU. He has a minor in leadership and ethics. Pirehpour, who has reported for the State Press, is reporting for Cronkite News this spring.

✉ (<mailto:kpirehpo@asu.edu>) [🐦 \(https://www.twitter.com/kevinpirehpour\)](https://www.twitter.com/kevinpirehpour)

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City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	4
Project Name:	East County Crematorium
Request:	Crematorium
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	DENY
Project Number(s):	Conditional Use Permit (CUP) No. 2022-0005
Location:	1034 North Magnolia Avenue
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619.654.7532
Project Planner:	Noah Alvey, nalvey@elcajon.gov , 619.441.1795
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolution in order DENYING CUP No. 2205-0005.

PROJECT DESCRIPTION

The project proposes to expand an existing building at 1034 N. Magnolia Ave. and to perform cremation services and funerals within the expanded building, which will include areas for on-site cremation, funerals, and viewings, in addition to a lobby, meeting room, and a caretaker's unit. A crematorium is a separately regulated use that requires approval of a Conditional Use Permit ("CUP"). Crematoriums are typically fueled by natural gas and are used to combust and incinerate human remains.

BACKGROUND

General Plan:	Regional Commercial (RC)
Specific Plan:	None
Zone:	Regional Commercial (C-R)
Other City Plan(s):	None
Regional and State Plan(s):	Gillespie Field Airport Land Use Compatibility Plan
Notable State Law(s):	Assembly Bill 3205

In 2017, the applicant submitted a CUP application for a crematory in an industrial building at 1150 through 1168 North Marshall Avenue. The permit application was denied by the Planning Commission and subsequently appealed by the applicant. On March 14, 2017, the City Council upheld the Planning Commission's decision and denied the appeal.

In 2018, the applicant submitted a CUP application to add a crematorium to an existing funeral parlor and mortuary building in a commercial building at 374 N. Magnolia Ave. The permit application was denied by the Planning Commission and subsequently appealed by the applicant. On July 24, 2018, the City Council upheld the Planning Commission's decision and denied the appeal.

It is noteworthy to mention that staff has met with the applicant on numerous occasions to discuss potential locations (areas) for a proposed crematorium. Staff has routinely indicated that because the nature of the project includes the incineration of matter, potentially significant parking demands, and all other crematoriums in the region are in non-commercial areas, that a more suitable location within the City would be in an industrial zone.

Project Site & Constraints

The project site is a triangular-shaped lot that is 0.27 acres (12,000 square feet). The site includes a two story office building with on-site parking. The site has 232 feet of frontage on N. Magnolia Ave. and 110 feet of frontage on Coogan Way. The project site also includes an existing 65-foot high wireless communications facility and equipment building. No changes are proposed for the wireless communications facility.

Surrounding Context

Properties surrounding the subject site are developed and zoned as follows:

Direction	Zones	Land Uses
North	M	Manufacturing
South	C-R	Hampton Inn & Suites, California Fish Grill, Urbane Café, and other commercial uses
East (across State Route 67)	C-G	Target and other commercial uses
West	C-R	Home Depot and other commercial uses

General Plan

The project site is designated Regional Commercial ("RC") on the General Plan Land Use Map. As described in the General Plan, RC designated areas include large shopping centers (25-100 acres) characterized by a combination of large anchor stores and related satellite shops which all share common parking facilities. The General Plan further indicates that RC designated areas may also include such uses as: department stores; grocery stores; many clothing and shoe stores; jewelry stores; discount stores, etc. Regional Commercial areas may also include other major uses such as governmental and cultural facilities and may also be characterized by high-rise developments with mixed uses and that such centers are very important locally because of their sales tax generation and their ability to provide for regional uses.

The main entrance to Parkway Plaza Shopping Center is located approximately 770 ft. from the southerly property line of the site. The Parkway plaza shopping center is

identified as Special Development Area No. 8 on the General Plan, which is implemented by Specific Plan 19. Goal 9 of the General Plan indicates that, "A strong, competitive region-wide commercial base will be created and retained." Objective 9-1 further states, "Parkway Plaza and its immediate vicinity will be maintained as the City's regional shopping center." Lastly, Policy 9-4.3 of the General Plan states, "Commercial establishments shall be carefully integrated with the surrounding area. Conflicts with residential or other sensitive land uses should be minimized."

Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area."

Municipal Code

The property is located within the Regional Commercial ("C-R") zone. El Cajon Municipal Code ("ECMC") Chapter 17.145 regulates the commercial zones by addressing development standards, such as setbacks, building heights, and lot coverage, as well as allowable uses. Pursuant to ECMC section 17.145.150 Commercial Land Use Table, a crematory requires approval of a CUP, while a funeral parlor and mortuary is permitted in the C-R zone, except for properties within the downtown area (Specific Plan No. 182). A conditional use permit ensures compatibility among existing and planned land uses in the vicinity of a proposed use. It also recognizes and compensates for potentially adverse impacts. Furthermore, it ensures that the proposed use is in the best interest of public convenience and necessity, and not contrary to the public health or welfare.

Gillespie Field Airport Land Use Compatibility Plan

The subject property is located within Safety Zone 6 of the Gillespie Field Airport Land Use Compatibility Plan. Safety Zone 6 lists indoor small assembly, up to 299 people, as a compatible use.

Air Pollution Control District

The San Diego County Air Pollution Control District ("APCD") regulates and permits emissions from crematories. Air contaminants emitted from crematories/incinerators include oxides of nitrogen, carbon monoxide, volatile organic compounds, oxides of sulfur, particulate matter and toxic air contaminants. Emissions of mercury are a specific concern to the APCD. As part of the emissions permit process, Assembly Bill 3205 requires to notify parents of schoolchildren, neighboring businesses and residents of all new or modified equipment that emits any hazardous contaminant into the air that will be installed within 1,000 feet of a school site. The nearest school is Magnolia Elementary located at 650 Greenfield Dr., which is approximately 2,500 feet to the northwest. Staff would also note that Grossmont Secondary School and Altus Academy

indicate on their respective websites that they operate resource centers at Parkway Plaza. The primary building at Parkway Plaza is located approximately 1,400 ft. to the southwest of the subject site.

DISCUSSION

Within the City limits, there are no crematories and, if approved, this would be the first. Mortuaries and funeral parlors that provide cremation services send the bodies of the deceased to other locations for cremation. The applicant notes there is a growing need for cremation services in general, including in the El Cajon community. A project description with supplemental information was provided by the applicant that includes detailed crematory information and other crematory locations.

Crematories require approval of a permit from APCD and clearance through a Hazardous Materials Plan Check from the Hazardous Materials Division of the Department of Environmental Health ("DEH"). The equipment associated with cremation includes cremation units (incinerators), coolers to store cadavers, and urns. The cremation units are licensed and inspected annually while the operator of the units need also be licensed and certified by the State. The State's role is to regulate the management of hazardous materials. In order to operate the cremation service business, the applicant would be required to obtain approval of the land use permit, the APCD permit and obtain clearance from DEH. A list provided by APCD is attached for reference and notes the San Diego crematory locations. In San Diego County, there are a total of 13 locations, including two for animals.

The City has recently been successful in attracting new commercial development in the vicinity of the subject site. One of the newer uses in the vicinity is the Hampton Inn & Suites, which provides overnight lodging for travelers or visitors. The crematory would be visible from the Hampton Inn & Suites and travelers or visitors may have a negative perception of the use and choose to stay at a different location when traveling to the region in the future. Furthermore, the subject site is visible from State Route 67, as well as the off-ramps from south bound lanes to Parkway Plaza and the City's downtown. Ongoing City efforts to attract additional investment and redevelopment at Parkway Plaza, surrounding commercial centers, and City's downtown may be hindered if the crematorium is approved in a location that serves as a gateway to the City's regional assets.

FINDINGS

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan.*

The proposed crematory is not consistent with the goals, policies or programs of the General Plan. Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon

will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area." The crematory will hinder efforts to attract additional investment and redevelopment at Parkway Plaza and surrounding commercial areas.

B. The proposed project is consistent with all applicable use and development standards.

The proposed project is consistent with all applicable use and development standards with an approved conditional use permit and with any necessary approvals from the San Diego Air Pollution Control District. The proposed use is also consistent with the Gillespie Field Airport Land Use Compatibility Plan.

C. The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.

The subject site and the proposed use is on Magnolia Avenue which is a regional commercial corridor that is visible from State Route 67 and serves as a gateway to Parkway Plaza and the City's downtown. The proposed on-site cremation services has the potential to negatively impact or limit new commercial development opportunities thereby compromising the existing and planned land uses in the vicinity.

D. The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.

Odors, smoke and particulate matter may emanate from the use if the operation fails. Air Pollution Control District cannot guarantee that there will be no emissions of any kind when cremating human remains. Furthermore, funerals typically have a high parking demand that may not be fully accommodated on the subject site.

E. The proposed use is in the best interest of public convenience and necessity.

The necessity for cremation services to occur at the subject property is not evident. Furthermore, an alternative location in the City's industrial area would be better suited. For those needing cremation services, those services are offered at alternative locations in the region. Therefore, at this time, the city does not see a void that needs to be filled by providing cremation services at the proposed location.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is exempt from the California Environmental Quality Act ("CEQA") subject to a section 15301 of the CEQA Guidelines. Section 15301 provides an exemption for existing facilities where there is negligible expansion of an existing use and physical improvements are limited to minor interior or exterior modifications. If approved, section 15301 would apply as no new environmental impacts would result, and none of the

exemption exceptions listed under CEQA Guidelines section 15300.2 exist. However, section 15270 provides an exemption for projects which are disapproved noting that CEQA does not apply to projects which a public agency rejects or disapproves.

PUBLIC NOTICE & INPUT

A notice of application was mailed on October 26, 2022, to property owners and occupants within 300 feet of the project site to inform them of the application for a crematorium. A notice of this public hearing was mailed on January 5, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website under "Public Hearings/Public Notices." The notice was also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue.

Staff received verbal comments in opposition to the request from the owner of Hampton Inn & Suites. Staff also received a letter in opposition from Gershman Properties, LLC, the owner of the commercial center with Urbane Café and other commercial uses. The letter of opposition is attached and includes concerns about attracting high quality commercial tenants to the area if the crematorium is approved. No other public comments have been received as of the date of this report.

RECOMMENDATION

Staff recommends denial of CUP No. 2022-0005 for the East County Crematorium. Although the El Cajon Zoning Code list crematory as a conditionally allowed use if all findings can be made, staff believes that the proposed use is better suited in an area that is not in close proximity to regional commercial uses and employment centers.

PREPARED BY:



Noah Alvey
DEPUTY DIRECTOR OF
COMMUNITY DEVELOPMENT

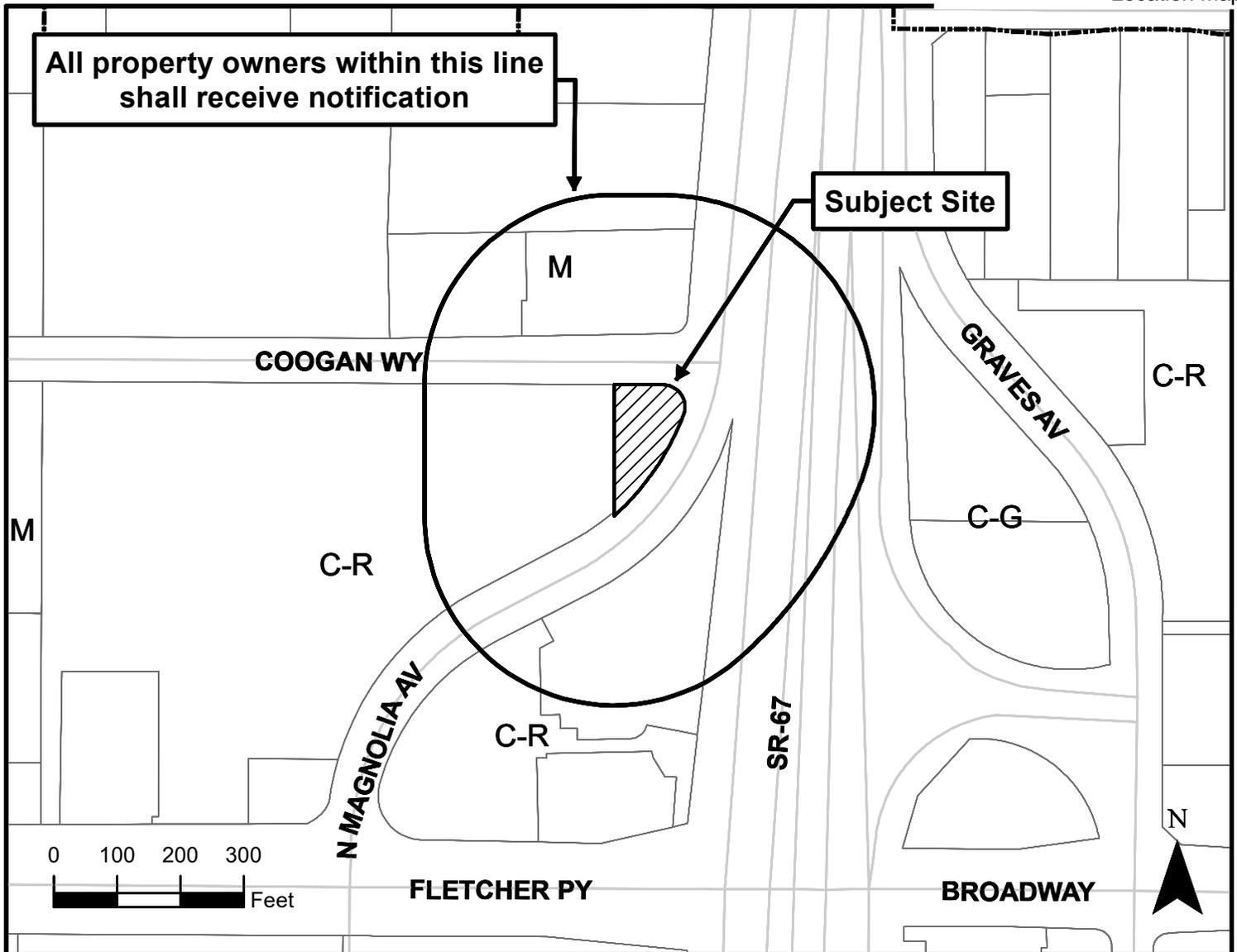
APPROVED BY:



Anthony Shute
DIRECTOR OF COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution DENYING CUP No. 2022-0005
3. Aerial Photograph of Subject Site
4. Application & Disclosure Statement
5. Project Description & Cremation Equipment Information
6. APCD List of San Diego County Permitted Crematoriums
7. Building Plans & Elevations
8. Letter of Opposition from Gershman Properties, LLC



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
EAST COUNTY CREMATORIUM**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, January 17, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT (CUP) NO. 2022-0005, as submitted by 12X16 Design Workshop, LLC on behalf of East County Mortuary, Inc., requesting a 4,664 square foot crematorium with office and meeting space, reception area, and gathering space for cremation witnessing. The subject property is located on the southwest corner of North Magnolia Avenue and Coogan Way, and is addressed as 1034 North Magnolia Avenue, APN 483-071-29-00. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **SPENCER HAYES** at 619-441-1742 or via email at shayes@elcajon.gov and reference "CUP-2022-0005" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION DENYING CONDITIONAL USE PERMIT NO. 2022-0005 FOR A CREMATORIUM IN THE C-R (REGIONAL COMMERCIAL) ZONE, GENERAL PLAN DESIGNATION: REGIONAL COMMERCIAL (RC); APN: 483-071-29-00

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2022-0005, as submitted by East County Mortuary, Inc. (Robert Zakar), requesting approval of a crematorium in the C-R zone, on property located on the south west corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.; and

WHEREAS, the following findings of fact are hereby made in regard to said matter:

- A. The proposed project is exempt from the provisions of the California Environmental Quality Act ("CEQA") according to section 15061(b)(4) of the CEQA Guidelines. Section 15061(b)(4) states that projects which are disapproved by a public agency are exempt from CEQA.
- B. The proposed crematory is not consistent with the goals, policies or programs of the General Plan. Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area." The crematory will hinder efforts to attract additional investment and redevelopment at Parkway Plaza and surrounding commercial areas.
- C. The proposed project is consistent with all applicable use and development standards with an approved conditional use permit and with any necessary approvals from the San Diego Air Pollution Control District. The proposed use is also consistent with the Gillespie Field Airport Land Use Compatibility Plan.
- D. The subject site and the proposed use is on Magnolia Avenue which is a regional commercial corridor that is visible from State Route 67 and serves as a gateway to Parkway Plaza and the City's downtown. The proposed on-site cremation services has the potential to negatively impact or limit new commercial development opportunities thereby compromising the existing and planned land uses in the vicinity.

Proposed Planning Commission

- E. The Odors, smoke and particulate matter may emanate from the use if the operation fails. Air Pollution Control District cannot guarantee that there will be no emissions of any kind when cremating human remains. Furthermore, funerals typically have a high parking demand that may not be fully accommodated on the subject site.
- F. The necessity for cremation services to occur at the subject property is not evident. Furthermore, an alternative location in the City's industrial area would be better suited. For those needing cremation services, those services are offered at alternative locations in the region. Therefore, at this time, the city does not see a void that needs to be filled by providing cremation services at the proposed location.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby DENIES Conditional Use Permit No. 2022-0005 for a crematorium in the C-R zone, on property located on the south west corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

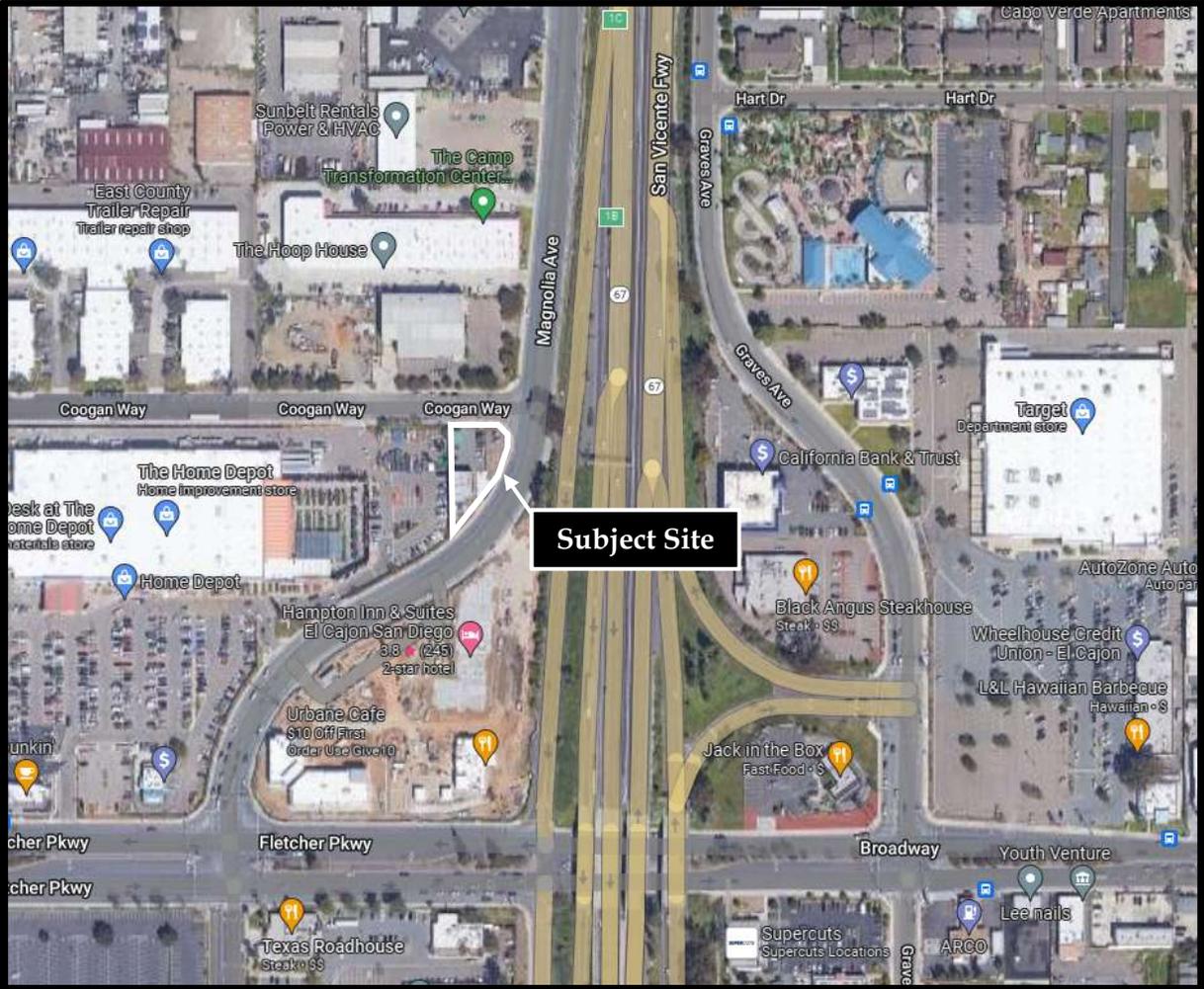
ATTEST:

Noah ALVEY, Secretary

Aerial Image

CUP No. 2022-0005

East County Crematorium



An effort is being made to improve the existing conditions to the site.

Complete interior remodel of existing first and second floor

Project Assistance Center
PLANNING PERMIT APPLICATION



Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 483-071-29-00

Address: 1034 N Magnolia Ave.

Nearest Intersection: Coogan Way

Project Description (or attach separate narrative)

The submission includes a separate narrative pdf document that is titled "Letter to Ci

This letter includes responses to City comments from incomplete submittal dated Ma

Project Screening Questions

Existing use? No Yes

Modification of use? No Yes

New development or addition? No Yes

Existing Structures? No Yes

If yes, please describe:

Office Building

Crematorium

Total area of additions equal to 1,959 SF

Age of the structures: 1975 (47 years)

Demolition or substantial modification proposed to site improvements or structures?	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>An effort is being made to improve the existing conditions to the site.</u>
Tenant improvements proposed?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Complete interior remodel of existing first and second floor</u>
Existing vegetation or trees on site proposed for removal?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<u>Existing hardscape to removed and replaced with landscaping</u>
Proposed grading?	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Proposed quantities of cut and/or fill. Balance (less than 250cy)</u>

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: East County Mortuary Inc.

Contact Name: Robert Zakar

Mailing Address: 374 N Magnolia Ave. El Cajon

Phone: 619.654.7532 Email: robertzakar@yahoo.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Kana Development Group

Contact Name: Michael Aguilar License: _____

Mailing Address: 12620 Magnolia Avenue

Phone: 714-986-1400 ext281 Email: maguilar@kanadg.com

Property Owner Information (if different than applicant)

Company Name: _____

Contact Name: _____

Mailing Address: _____

Phone: _____ Email: _____

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:

Michael Aguilar

Digitally signed by Michael Aguilar
DN: C=US, E=maguilar@kanadg.com,
O="Kana Development Group, Inc",
CN=Michael Aguilar
Location: from the office
Reason: I am approving this document
Date: 2022.09.09 09:10:51 -0700

Date: 9/9/22

Property Owner
Signature²:



Date: 9/9/22

- Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
- Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-submittal Review

The purpose of a pre-submittal review is to provide you an opportunity to review your project with the City's development team in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

Jonathan Ramirez-Torrei	4211 Gamma St.
	San Diego CA 92113

List the names and address of all persons having any ownership interest in the property involved.

Robert Zakar	Dured Zakar
Nagham Mansour	

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes No

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

Bill Wells for Mayor \$5000.00 in November 2021

“Person” is defined as “Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert.” Gov’t Code §82047.



Signature of applicant / date

Robert Zakar

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

**ROBERT ZAKAR
374 N. MAGNOLIA AVE.
EL CAJON, CA 92020
(619) 654-7532**

September 9, 2022

Planning Department
City of El Cajon
200 Civic Center Way
El Cajon, CA 92020

RE: East County Crematorium CUP-2022-0005
Conditional Use Permit No. 2236
1034 N. Magnolia Avenue, El Cajon

Dear Planning Department:

Please accept this narrative in support of our application for a Conditional Use Permit to allow for the operation of a crematorium at 1034 North Magnolia Avenue.

Our establishment will perform cremations on the premise. If requested by the family, we will allow them to witness the cremation. Witnessing the cremation, although not common, is requested at times due to the fact that family members prefer to witness this event of life. Mostly to ensure that the remains / ashes are truly those of their loved one. Most witness cremations have an average of 3 – 6 people in attendance. This witnessed cremation is a very important part of a funeral and allows for the family to have final closure, similar to a burial. The vast majority of those in attendance arrive in 1 - 2 vehicles. Historically, this has been done as families comfort each other during this time and are often together from the moment of death until the final cremation.

We anticipate that this type of service will staff one employee, and on occasions two. It is also anticipated that the business will retain its office operations while performing a service. Our project proposes an office space at the second level of the building with enough floor area to accommodate six workstations, comfortably. This will allow our business the opportunity to grow, while creating jobs for its very own community that it serves. Employees on the office space are anticipated to work Monday thru Friday from 9:00 A.M. to 5:00 P.M. These are the same hours of operation when the building is open to the public. Even though the facility will be closed to the public during the weekends, the operations of the crematorium are anticipated to remain in service, as our business operates more in response to the present demand of its community.

As far as parking is concerned, we will have a 2-car garage that will be utilized by employees only. This will be used for employee parking and also for loading & unloading. We will have ample parking for visitors, again due to the fact that we expect a small amount of visitors during any witnessed cremation. Based on historical demand, we are not anticipating to seek additional off-site parking from surrounding property owners. We will ensure to advise each visitor that they are limited in the amount of people that are able to witness the cremation. However, as stated earlier we do not expect this to be an issue due to historic statistics indicating that only a small number of family and friends witness a cremation.

Also, please see attached our Response to the Findings and the attached exhibits.

Please consider the above in making a fully educated decision and feel free to call me with any questions.

Respectfully submitted by:

Robert Zakar

Robert Zakar and Jonathan Ramirez-Torrero

RESPONSE TO FINDINGS

RE: 1034 N. Magnolia Ave.

Conditional Use Permit No. 2022-0005

Dear Council:

Please accept this letter as my response to the May 6, 2022 letter regarding the incomplete submittal for a crematorium at 1034 N. Magnolia.

With regards to the paragraph titled Planning, my response is as follows:

1. REQUIRED FINDINGS

a. The proposed use is consistent with applicable goals, policies, and programs of the general plan, and with any applicable specific plan.

RESPONSE TO FINDING:

The proposed location is zoned Regional Commercial as determined by El Cajon's General Plan (GP). It is located on the corner of Coogan Way and N. Magnolia. The north side of Coogan Way is zoned Industrial Park.

The project is consistent and promotional with Goals 1, and 8 through 13 of the GP and there is no negative impact to the remaining un-named goals.

This location fits in the GP, as our business is not only essential, but provides a service which is compatible and promotional to Goals 9 through 13. Currently, there are 5 crematoriums in all of San Diego County, and none of which are located in East County. We determined that this area, which is located in a regional commercial area would best work as it fits in the City's GP and provides a service that the area is currently lacking.

b. The subject site plan and building design are consistent with all applicable use and development standards.

RESPONSE TO FINDING: Yes, refer to narrative below.

The subject site plan is consistent with applicable use and development standards. The building is already designed and will further undergo a beautification plan that will make its design even more aesthetically appealing. Cemeteries, funeral homes, mortuaries, and crematories are located in all zoning districts, including residential, commercial, and manufacturing.

Further, we will work closely with the planning department to ensure that the site plan and building design conform with all applicable use and development standards.

c. The proposed use will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.

RESPONSE TO FINDING:

There are no known compatibility issues for a crematory within the City's Regional Commercial zoning. Crematories, throughout the country, are located in all different types of planned uses, including residential, commercial, and industrial. Therefore, any businesses in the area would not be impacted and in fact would be compatible with a crematory. Crematories are very discrete. The amount of traffic and visitors is minimal to all surrounding businesses. This type of business does not attract a large number of customers, traffic, or loiterers, etc.

d. The proposed use and project design will not be detrimental to the public health, safety, and general welfare, including but not limited to, matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.

RESPONSE TO FINDING:

To be clear, there will be no odors, smoke, and particulate matter emanating from the use of the crematory. In fact, the manufacturer of the cremator has provided a brochure of its product, which I am attaching as Exhibit A. There are a number of internal safety mechanisms in place that would correct any malfunction of the cremator, if one were to occur. Further, that even if there were a malfunction that NO odor, smoke, or particulate matter would emanate.

Smoke:

Smoke is the result of incomplete combustion and not maintaining a balance of fuel, oxygen, and temperature. The Facultatieve Technologies (FT) cremator provides a finite control of balancing these three components ensuring that smoke is not released to the atmosphere.

Odor:

The cremator from FT provides a finite computer control of the combustion process by utilizing an oxygen sensing and modulation system to balance the three components of combustion: oxygen, fuel, and temperature. The oxygen within the cremator is continuously adjusted automatically via five (5) air valves that ensure that the correct combustion balance is produced, and cremation of the human corpse is complete and therefore eliminates the possibility of odors being released from the cremator.

FT has performed scientific testing for odors based upon EPA 40CFR60 – United States EPA. Those test results are available upon request.

Noise:

The cremator proposed to be used in this facility has been tested by a third-party acoustics testing company to provide scientific documentation of noise created by the cremator while in operation. Their results indicated that the FT Cremator will produce noise levels of 60 dBA to 65 dBA immediately outside the crematory building. On a typical Class C property, this level will not even be audible, due to the ambient noise already present from neighboring operations.

Vibration:

The cremator as manufactured by FT is a multi-wall insulated, self contained unit that does not emanate any perceivable vibration outside of the cremator building.

Fumes:

If there is no perceived smoke or odor then there are no perceived fumes or excess heat emanating from the cremator.

To be clear, there is NO human particulate or odor that emits from outside the building. Throughout the State of California and the nation, crematories are located in residential and commercial districts. Further, the University of California San Diego has a crematory on its campus for its scientific research. When UCSD, is finished with its research on bodies, it cremates same. San Diego was comfortable enough with crematories to allow one on its university’s campus, which is inundated with people who use the campus.

My company will be using state of the art equipment and technology, designed by FT. Please see Exhibit A, that includes information relating to the equipment and cremations.

e. The proposed use is in the best interest of public convenience and necessity.

RESPONSE TO FINDING:

This area is truly lacking in crematoriums. The top 5 counties by population and number of crematories are as follows:

County	Population	# of Crematories	Crematories per person
1. Los Angeles:	10,170, 292	27	376,677
2. San Diego:	3,299,521	5	659,904
3. Orange:	3,169,776	13	243,828
4. Riverside:	2,361,026	15	157,401
5. San Bernardino:	2,128,133	11	193,466

(Exhibit B, California Counties by Population and Crematories)

When you look at the population of the top 5 counties and the number of crematories in each county it is truly staggering how much San Diego County is lacking in crematories. There are only 5 in the entire county of San Diego. Four of these locations are owned by large corporations, one by a small local crematory, and the other being the University of California San Diego. (Exhibit C, Cemetery and Funeral Bureau, Crematories in San Diego County). For local funeral homes to perform a crematory, the nearest crematory is in Vista, more than 45 minutes away, and even longer when traveling in a funeral procession. However, there are no other alternatives in the area. To think that the counties of San Bernardino and Riverside who have far less of a population, but 2 times and 3 times the number of crematories, is further evidence of the need for a crematory in the area.

The number of cremations continues to rise dramatically. The need for a cost effective funeral is ever more necessary. In fact, the Catholic Church recently found that cremations are an acceptable way of handling deceased individuals. The Cremation Association of North America has provided evidence of the high demand of cremations (Exhibit D, CANA 2016 Annual Statistics Report). In 2011, 51-60% of individuals preferred cremation, and that number rises in 2015 to 61-70%. Also attached, is the 2015 Annual Report Case Total by Funeral Establishments in San Diego County (Exhibit E) which provides the percentage of burials to cremations in San Diego County, with cremations amounting to 62% as compared to burials. This data provides affirmative proof that the need for cremations has been rising, yet El Cajon lacks in providing this type of service to its residents.

Currently, we are in the middle of a pandemic. As a result, residents of El Cajon were waiting 90-120 days to receive their loved ones back as a result of the shortage of crematories in the area. These loved ones were shipped to different crematories throughout California. As a result, these loved ones were stored in a cooler, awaiting to be cremated. This was truly inhumane and morbid. This pandemic was proof positive that crematories are needed in this area.

2. General Plan Consistency: Policy 9-4.3 of the General Plan states, "Commercial establishments shall be carefully integrated with the surrounding area. Conflicts with residential or other sensitive land uses should be minimized." The proposed use may result in compatibility issues with overnight lodging for travelers or visitors.

As stated earlier, crematoriums are located throughout the country in all types of different zoning areas. These include residential, commercial, and industrial. These crematoriums are located on university property, strip malls, and across the street from houses. Overnight lodging for travelers or visitors will not be impacted as these crematoriums are very discrete. There will be no large signs that would light up throughout the night indicating what we do. The University of California in San

Diego has a crematorium on its campus, without anyone being none the wiser. There are no fumes, particulates, odors, or anything else that would make anyone have any reason to be concerned.

3. Project Description:

a. How many cremation ceremonies will occur during a typical week?

We will be conducting what we call “witnessed cremations.” These are simply allowing family members to be present during a cremation. Cremations have evolved throughout the years and currently many crematoriums are allowing witnessed cremations. Family members will be present to watch the deceased enter the retort. Family members of deceased individuals find this to be a critical part of the grieving process. The entire witnessing of the cremation from start to finish will take approximately ½ hour at our location. We expect to perform 10-15 witness cremations (ceremonies) per week.

b. A loading/unloading area does not typically contribute to parking requirements because it is part of the business operations; please elaborate further on the following:

Each delivery will be brought in by a mini-van that does not have any logos or insignia on them indicating what they are carrying. These mini-vans are not owned or leased by us, are owned by a separate company and are not stored at our location. The delivery takes place very discretely, wherein the mini-van will enter via the garage door. The mini-van will back into the garage and the person will be removed. The deceased will be fully covered and not visible to anyone. The mini-van will immediately thereafter leave the premises. This whole process takes approximately 15 minutes. On average we expect 3-5 deliveries per day.

i. Typical number of daily deliveries: 3-5 per day. Please note that NOT all deliveries require a ceremony.

ii. Duration of the typical deliveries: 15 minutes.

iii. Confirm if delivery vehicles are part of the business operation, stored off-site, or provided by a separate vendor: Separate vendors will make these deliveries and will temporary park in the garage when arriving on site.

iv. Confirm if delivery times will be restricted to address employee vehicle parking demand during cremation ceremonies: The delivery area will have its own separate parking within the garage of the location and will be separate from the parking areas for employees and visitors. Again, these mini-vans will not be parked in the parking lot, will not block any areas of ingress, egress, or parking spots. They will be backed into the garage for a short period and immediately leave, and not utilize any of our parking spots.

RESPONSE TO DEVELOPMENT STANDARDS

RE: 1034 N. Magnolia Ave.
CUP No. 2022-0005

Dear Planning Department, City of El Cajon:

Please accept this letter as my response to the May 6, 2022 letter regarding the incomplete submittal for the crematorium at 1034 N. Magnolia.

With regards to the paragraph titled Development Standards, my response is as follows:

4. DEVELOPMENT STANDARDS

- a. On-site Parking:** A crematorium is not covered under ECMC 17.185.190, table: 17:185:190. This application seeks parking requirements as determined by the director ECMC 17.85.100. To assist in this determination we offer the following analysis:

It is anticipated that this crematorium will operate 9am-5pm on weekdays while open to the public with a maximum of 3 employees, 1 operator (O) of the cremator, and 2 administrative assistances (AA). One AA will act as the host for ceremonial cremations and the other AA will address the public, as they visit the establishment and answer phone calls. Assuming the worst case scenario where none of the employees carpool, there will be a need for 3 staff parking stalls.

During a ceremonial cremation there is an average of 3-5 witnesses (W) that typically carpool in 2 to 3 vehicles. Assuming the worst case scenario of an average ceremonial cremation, there will be a need for 3 parking stalls of which one of them may or may not need to be ADA accessible.

With the analysis above there is an average weekday need for 6 parking stalls of which one can be ADA accessible, for the average weekday ceremonial cremation. The current parking lot configuration of this proposed crematorium is 9 spaces which includes one ADA accessible stall. Therefore there will be 3 available stalls for ceremonial cremations that have more than average attendance.

b. Off-site Parking: The operation of this particular establishment does not require additional off-site parking spaces based on historical demand.

c. Conceptual Landscaping Plan: Our resubmission project incorporates a planting, irrigation and landscape details documented under sheets L1.0, L2.0 & L3.0.

d. Screening of Rooftop Mechanical Equipment: Our project incorporates the screening of the existing mechanical equipment on the rooftop. To confirm heights, the parapet height is documented as 3 feet in height and the mechanical equipment has an overall height dimension of 5 feet and 6 inches. There are currently (3) identical Air Conditioning units on the roof of the existing building. The most southern unit is currently visible. The southern unit will be relocated to another part of the roof where it will be completely screened. Please make reference to the buildings' elevation marks for clarification.

e. On-site lighting: Exterior lighting at the building is shown along the path of travel. Lighting at parking spaces are shown as groundcover. Please refer to Conceptual Lighting Plan (LP1.0) within the planset.

PUBLIC WORKS

Required Information:

Existing Condition:

Impervious/Pervious area table, with types (Buildings, Parking, Sidewalks/patios, Landscaping, etc with Areas in Square Feet. Plans has been revised for this submittal.

Proposed Condition:

Impervious/Pervious area table, with types (Buildings, Parking, Sidewalks/patios, Landscaping, etc with Areas in Square Feet. Plans has been revised for this submittal.

Tables to include Total Impervious/ Total Pervious areas. Plans has been revised for this submittal.

Any and all on-site storm water drainage features - roof drains, drainage pipes, etc. Site plan has been revised for this submittal.

All Area information must be used to fill out Storm Water Intake Forms. Storm Water Intake Forms have been provided with the write-up portion of this submittal.

Site Plans incomplete for Private Development/Engineering:

Right of Way dimensions for N Magnolia are not complete, see APM 483-07 and PM 12265, PM21620 for Record Dimensions and show required 2-foot dedication to provide a 42' distance from Centerline to new Property line. Site plan has been revised for this submittal.

All N. Magnolia Ave street dimensions full width, Centerline to Face of Curb, Face of curb to Property Line, required 2-ft dedication. Site plan has been revised for this submittal.

Driveway on Coogan must be reconstructed to comply with current ADA standards, per San Diego Regional Standard Drawings G-26 and SD RSD G-14B, modified. Site plan has been revised for this submittal to note the appropriate callout for new ADA driveway.

Wrought Iron Fence is located within public ROW, must be relocated out of Public ROW. Site plan has been revised for this submittal to note the relocation of the fence to coincide with relocation of adjacent property owner's fence.

1. The revised site plan documents all existing and proposed impervious and pervious area for reference. In summary, the project proposes an overall decrease of 16 percent of impervious areas over existing, and a 98 percent increase in pervious areas over existing site conditions. All of these calculations have been tabulated for ease of reference and area designations. The areas further reflect the storm water forms that inform the proper designation for the implementation of BMP measures to our project. Other proposed improvements include the reconstruction of the curb opening per SD RSD G-26 and G-14B.

BUILDING

2. The proposed plans are incomplete and do not provide sufficient detail for a complete review by the Building Division. Please revise the plans to provide additional information described below:

a. Building code separation standards between the cremation furnace and the witness cremation room (including glass wall for viewing). Per the CBC Section 721, the fire separation between the cremation furnace and the witness cremation room is being documented with prescriptive fire resistance rating wall assemblies. The proposed floor plan notes a 1-hour fire-resistant non-bearing wall at the interior of the existing concrete wall. The CBC documents the construction method of this partition, under Assembly 13-1.1. At the exterior of the existing concrete wall, we propose to anchor into a new concrete foundation, a prescriptive steel wall assembly documented under numbers 13-1.3. This wall will enclose the cremation equipment designed by Facultatieve Technologies (FT).

For clarification purposes, the project does not document any glass partitions in its proposal. However, a small penetration into this (3) layered wall assembly is being envisioned. The opening will allow for the automated loader, or lifted platform, to travel unobstructed to the cremator equipment.

b. Building occupancy calculation including information and code section citations from the California Building Code. Room occupancy for witness cremation room and chamber room have been tabulated per CBC §1004.5. and shown on the plans.

c. ADA parking requirements and path of travel. ADA parking requirement and detail is documented on plans and a means of egress included for ease of reference.

d. Requirements and details for the covered trash enclosure. Details for the trash enclosure have been incorporated on the plans.

HEARLAND FIRE & RESCUE

2. The proposed plans are incomplete and do not provide sufficient detail for a complete review by Heartland Fire & Rescue. Please revise the plans to provide additional information described below:

a. Identify the location of the fire hydrant on Coogan Way. Location and call-out of existing fire hydrant on Coogan Way has been added to site plan.

b. Cremation furnace specifications (size, burning temperatures, ventilation, etc.). The cremator selected is specified under model FT III, from the manufacturer Facultatieve Technologies. The floor plan notes the equipment and recommended clearances within the space. Please refer to the Exhibit A (attached) for further details on the size and mechanics of the selected equipment.

c. Fire sprinkler and alarm design/requirements. A conceptual fire sprinkler plan has been incorporated into the plan set.

d. Confirm fire exiting requirements based on building occupancy. The means of egress proposed for the building complies with the requirements set by Chapter 10 of the California Fire Code. The proposed floor plans further elaborate with annotation and dimensions, all ceiling heights for each room, as well as all width dimensions for a clear path of travel between both levels of the building. We proposed to add an interior staircase to the building, something that was previously missing; as well as proposing to create an ample exterior deck structure and staircase at the second level, to facilitate exit from the building. In summary, based on the building occupancy set forth in Table 509, Section 508.4.4.1, from the CBC;

the building proposes a total of seven exits to the building where six exits can be located on the first level, and one on the second floor.

e. Details regarding the glass separation between the witness cremation room and the cremation furnace. No glass separation is being proposed between the witness cremation room and the cremation furnace. Refer to plan details for further clarification.

EXHIBIT A



Cremation & Incineration Equipment

Cremation 101

Introduction to Cremation Facts & Statistics

State of California

**Prepared by: Ernie Kassoff
National Sales Manager
August 2022**

Crematory – “Not in my Backyard Syndrome”

So, your local funeral home or cemetery announces that they want to place a crematory in their facility and suddenly the community starts to panic saying that it will pollute the air, smell, smoke, drive values of real estate down, and be an eyesore.

Unfortunately, we live in a world that is strongly fed by the ability to seek out information via the internet and the downside of the information flow is that in most cases the only things that are reported are negative when it comes to crematories or the cremation process. What is hard to research, are the positive sides of crematories that provide the service with dignity and reverence when it comes to the loss of a loved one. Modern crematories are designed to provide families with a comfortable place to say their final goodbyes, much like what has been done at graveside services. Again, it is unfortunate that we only hear and see the reports of crematories found in a basement or a dirty garage, spewing smoke and odors. What we do not hear is that today's modern crematories can be compared to being somewhat like a hospital operating room with the highest degree of cleanliness and a warm inviting setting to provide comfort to the family and friends of the deceased.

Facultatieve Technologies offers high quality human cremation equipment, providing the latest technologies, meeting state, local and national requirements when it comes to environmental standards including pollution control, noise, and odors. It should be understood that the crematory is regarded as a place of reverence by funeral professionals who have dedicated their lives to help others in mourning the loss of a loved one and thus a very important part of serving the community. The misunderstanding regarding what we do, how it is done and how we protect the environment is something that the public, needs to be educated.

The following information is based on facts and scientific documentation, not hearsay.

History

Cremations have been performed longer than most people know. It has been documented that the first cremations were performed as early as 300 B.C. most likely in Europe and the Far East. The practice of cremation continued as the preferred disposition until about 400 A.D. when ground burial completely replaced cremation. In 1873 an engineered cremation chamber was developed and introduced at the Vienna Exposition. The development of this new machine revolutionized the cremation process and the movement of modern cremation started to expand on both sides of the Atlantic. The main reason that cremation became prevalent was based on hazardous health conditions dealing with improper burial practices and causing mass breakouts of diseases causing many deaths. In 1876 the first crematories were built in the United States and followed by the United Kingdom in 1878. By 1900 there were 20 crematories from the East Coast to the West Coast in the United States. By 1913 there were 52 crematories in the United States performing more than 10,000 cremations per year. The growth of cremation was somewhat slow for the next 60 plus years and by 1975 there were 425 crematories performing 150,000 cremations per year. In 1999 there were 1,468 crematories operating in the U.S. performing 595,617 cremations per year or 25.39% of all deaths in the U.S. The latest figures from 2019 show that the number of crematories has surpassed 3,000 performing more than 1,500,000 cremations meaning that 54.6% of the deaths in the U.S. preferred cremation over ground burial.

The cremation growth rate continues to increase and in 2020 climbed to 56.1% and is estimated to increase another 5% by 2025. Although these numbers are based upon cremations across the United States the percentage varies state by state with the western section of the country averaging better than 70%.

Let's look at California ...

2019 Number of deaths in California	270,958	2019 Cremations in California	173,967 = 64.2%
2020 Number of deaths in California	318,220	2020 Cremations in California	207,025 = 65.1%
2121 Provisional Number of deaths in California		332,884	
2021 Provisional Number of deaths in California		217,389 = 65.3%	

(Please note that in 2015 the percentage was 62.1%)

Estimated cremation rate in California	2026 = 69.4%
	2031 = 72.4%

California is ranked in the top 10 of US States in the number of cremations and in the continuous growth in the number of cremations.

In summary, families throughout the United States have continued to choose cremation over ground burial for many reasons. California is a leader in North America for cremation and projections estimate that by 2025 the percentages will continue to increase. What this means for funeral homes is that to continue to operate a profitable business and serve their communities an on-site crematory is a necessity.

On-site crematory and its Impact on the Community

So why does your local funeral home want to have a crematory and what it is going to look like? What impact is it going to have on your community? What impact will it have on the environment within your community?

What most people have seen either on the internet or possibly in person is an old unkept building that is not very inviting. Today we are building crematories that look very much like hotel lobbies that are very attractive and allow a grieving family to experience a dignified cremation ceremony. The experience we create today mirrors the experience of a graveside burial, set in a very comfortable decor with family and friends being able to bid farewell, knowing that they have memorialized their loved ones with grace and dignity as they make their final journey. Allowing family and friends to have closure in a time of grief ensures that they have said goodbye. The days of backyard garages hidden from view is in the past and we now take pride in honoring the ones we love.

The following are some pictures of crematories that Facultatieve Technologies the Americas have built in the past couple of years:

Families First – Windsor, Ontario



Lakeshore Funeral Home – Waco, TX



Facultatieve Technologies The Americas Inc.

Facultatieve Technologies is a member of 'the Facultatieve Group'

Additional Installations:



Oakey's Funeral Home – Roanoke, VA



Baue Funeral Home – St. Louis, MO



Mt. Auburn Cemetery – Cambridge, MA



Hart's Funeral Home – Macon, GA

Environmental Impact

The United States Environmental Protection Agency (EPA) has mandatory regulations in place regarding air quality standards. However, each state sets its own EPA Regulatory Standards which determine the amount of air emissions that can be permitted to be released from crematories. Therefore, each crematory prior to the installation of any cremation equipment must provide scientific documentation (stack test results) that the equipment will operate below emission thresholds. The emissions that are normally addressed are Particulates, Oxygen, Carbon Dioxide, Chromium, Carbon Monoxide, Nitrogen Oxide and Mercury. Stack testing is performed by third party accredited companies with local EPA representatives on-site during the testing and results are directly reported to the local state authority. Once it has been determined that the cremator meets all regulations, a permit to operate is issued.

As to the results from Facultatieve Technologies cremators, with numerous testings of emissions by independent third party contractors our cremators not only meet all of the requirements specified by United States Environmental Protection Agency and the State of California EPA – Division of Air Pollution, but we surpass the clean air requirements due to the dynamic design of our cremation equipment. Unlike other manufacturers, Facultatieve Technologies is proactive in our standard engineering designs of this cremator providing a secondary combustion zone, which maintains the flue gas temperature greater than 1600°F for a time of greater than 2 seconds during operation, with oxygen content of greater than 6%.

The rumors that crematories cause cancer, asthma, or any other illnesses are unfounded. Additionally, rumors of body parts coming out of the exhaust stack is totally ridiculous and there is no possibility of this ever happening.

Smoke – Odor - Noise

Besides the environmental impact of a crematory, these three (3) subjects are always the most asked questions from the community. Yes, they need to be answered, however the answers are based upon scientific studies and the results are available upon request. The following is a synopsis of each of the three (3) subjects.

Smoke:

The Facultatieve Technologies (FT) Cremator for this project has been designed to ensure that a finite control of the cremation (combustion) process is maintained by a combination of computer controls and an oxygen monitoring and modification system. By maintaining a balance of temperature, fuel, and oxygen electronically, the chance of the cremator smoking is negated. In addition, Facultatieve Technologies utilizes an Induced Draft System meaning that the cremator under-pressure is constantly measured and controlled by the addition of a cooling air volume into the hot flue gases via a Facultatieve Technologies designed **Coanda** ejector located in the cremator waste gas outlet.

The volume of ejector air is constantly modulated by a variable speed inverter-controlled ejector fan motor, the speed of the fan (hence the level of draft) is controlled by the cremators PLC control system. Additionally, a pressure sensor controller continually monitors any overpressure condition within the cremators' primary chamber. On detection of overpressure the combustion air to cremator is automatically turned off so that the combustion rate within the cremator is rapidly reduced. What this means is that we provide finite control of the combustion process and thus the possibility of smoke and particulate matter is reduced.

To further explain, the cremator has two chambers with individual combustion systems. The primary chamber which is where the cremation process is completed, and the secondary chamber is where the emissions (gases /products of combustion) pass and are diluted to acceptable levels prior to being released to the exhaust stack. There are minimum retention times that the emissions must reside in the secondary chamber prior to the release of the emission to the exhaust stack and these are mandated per regulatory regulations within the state permit to allow the operation of the equipment. The retention of the exhaust gases ensure that the dilution of emissions is met so that the vapors released from the exhaust stack contain no harmful emissions.

Smoke is the result of incomplete combustion and not maintaining a balance of fuel, oxygen, and temperature. As stated above, Facultatieve Technologies provides a finite control of balancing these three components ensuring that smoke is not released to the atmosphere. The only time the cremator would smoke is if power was lost. It compares to trying to stop your car if your brake line broke.

Odors:

Like smoke, odors being produced during the cremation process have always been a concern by homes and businesses located near a crematory. The elimination of the possibility of any odors from the cremation process is very simple if the properties of complete combustion are followed. If the principals of combustion during the cremation process are not properly completed there is the possibility of an odor. As described earlier, Facultatieve Technologies provides a finite computer control of the combustion process by utilizing an oxygen sensing and modulation system to balance the three components of combustion: oxygen, fuel, and temperature. The oxygen within the cremator is continuously adjusted automatically via five (5) air valves that ensure that the correct combustion balance is produced, and cremation of the human corpse is complete and therefore eliminates the possibility of odors being released from the cremator.

Facultatieve Technologies has performed scientific testing for odors based upon the following regulators:

- EPA 40CFR60 – United States EPA
- EPS – Environment Canada's Environmental Protection Series
- OSTC – Ontario Source Testing Code

All Facultatieve Technologies installed cremation systems are subject to registration and permit to operate approval with most state and governmental Environmental Protection Agencies prior to installation and operation of a human cremation system.

Noise:

Facultatieve Technologies (FT) has performed decibel readings for all our cremation systems equipment. FT cremators have been internally documented at 78 – 82 dBA within 3 feet of the cremation unit. The only noise that is produced from the cremator is from the blower system which we place in a sound reduction cabinet allowing for the very low decibel readings that average 80dBA. 90 dBA is the maximum permissible worker noise exposure, therefore the average of 80 dBA within the workplace is below the “OSHA trigger” and is not a matter of concern.

As stated above the fans are enclosed in a sound reduction cabinet lined with a lead blanket (reduction of low frequencies) and a high-density foam (reduction of middle to high frequencies). As a reference, you can easily speak on a cell phone standing directly next to the cremator.

In addition to internal documentation of crematory sound levels, FT has engaged a third-party acoustics testing company to provide scientific documentation of noise created by the cremator while in operation. Their results indicated that the FT Cremator will produce noise levels of 60 dBA to 65 dBA immediately outside the crematory building. On a typical Class C property, this level will not even be audible, due to the ambient noise already present from neighboring operations. Upon request we would be happy to share the documentation.

Facultatieve Technologies the Company:

Facultatieve Technologies is an International Corporation with our Corporate Headquarters located in The Hague, Netherlands and engineering and manufacturing facilities in Leeds, England and Medina, Ohio. The Medina, Ohio facility is responsible for all manufacturing all cremation systems for the North American market.

Our corporate approach to the design, engineering, and manufacturing cremation system equipment is based on the following three principals:

- 🔒 **SAFETY** – The safety of the operators of the equipment, the employees of the company, and the community where the equipment is located.
- 🌱 **ENVIRONMENTAL COMPLIANCE** – We strive to provide products that reduce the emissions to a safe level for not only the crematory location, but the communities it is located in and around. Furthermore, we have developed filtration systems capable of reducing the output of emissions by more than 99%. We currently have more than 400 of these abatement systems operating in the European Community and 4 units operating in North America. At this time, filtration of crematories is not required anywhere in North America due to the restrictive emissions requirements to receive operational permits.
- 🔒 **REDUCTION OF THE USE OF FOSSIL FUELS** – Protecting the environment by reducing the use of fossil fuels. Our designs have proven to save as much as 65% of fuels such as natural gas and propane when compared to our competitor's equipment. We utilize low energy gas valves and variable speed inverters on all motors to greatly reduce the consumption of electrical energy.

In line with our commitment to safety, all Facultatieve Technologies Cremation System Equipment is built to the following Approval Standards:

Underwriters Laboratories

UL 2790, Standard for Commercial Incinerators, 1st Edition, Revised 10/08/2014

UL 795, Standard for Commercial-industrial Gas Heating Equipment, 8th Edition

UL 295, Standard for Commercial-industrial Gas Burners, 2nd Edition, Revised 08/22/2019

UL 508A, Standard for Industrial Control Panels, 3rd Edition, Revised 07/03/2018

National Fire Protection Agency

NFPA 211, Standard for Chimneys, Fireplaces, Vents, and Solid Fuel Burning Appliances

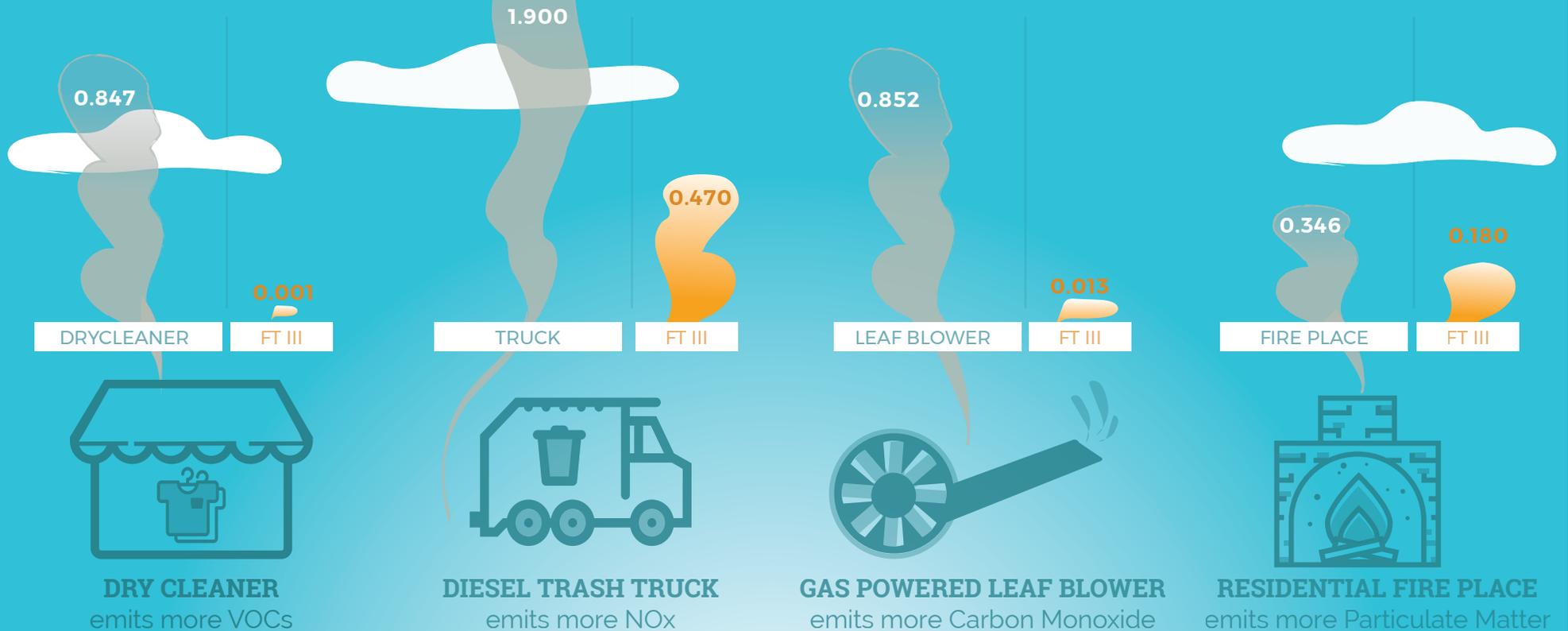
(FT is the only manufacturer in the world building our exhaust stacks to this standard)

How Does a Facultative Technologies FT III Cremator Compare to Other Common Sources?



When compared to other common neighborhood equipment, the FT III cremator emits fewer pounds per hour of pollutants than most common sources.

ALL DATA PRESENTED IN LBS/HR



Facultative Technologies The Americas Inc.

Facultative Technologies is a member of 'the Facultative Group'

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Data sourced by Geolnsight Inc. geolnsight.com

What are VOC's

Volatile Organic Compounds, more commonly known as VOC's, include a variety of chemicals found in many common products. VOC's are emitted as gases from liquids or solids.

What products commonly contain VOC's; cleaning supplies, paint strippers, paints & lacquers, copiers and printers, glues and adhesives, air fresheners, photographic solutions, permanent markers, correction fluids, pesticides, carpet and rugs and many building materials and furnishing.

So what does VOC's have to do with cremation? Simply, the container that the deceased is cremated in can contain some VOC's including glues and adhesives as well as paint or lacquers. The United States Environmental Protection Agency conducted a series of studies called the Total Exposure Assessment Methodology (TEAM), and found the levels of at least 12 commonly used volatile organic compounds to be two to five times higher in homes than outside.

As our chart illustrates; the amount of VOC's emitted from the FT III Cremator is more than **800 times less** the average dry cleaning plant which are located throughout most communities.

What is NO_x?

NO_x is a generic term for the nitrogen oxides that are most relevant for air pollution, namely nitric oxide (NO) and nitrogen dioxide (NO₂). These gases contribute to the formation of smog and acid rain, as well as tropospheric ozone.

NO_x gases are usually produced from the reaction among nitrogen and oxygen during combustion of fuels, such as hydrocarbons, in air; especially at high temperatures, such as occur in car engines. In areas of high motor vehicle traffic, such as in large cities, the nitrogen oxides emitted can be a significant source of air pollution. NO_x gases are also produced naturally by lightning which is estimated to produce more than 8 million tons of NO_x per year.

As our chart illustrates; the amount of NO_x emitted from the FT III Cremator is more than **4 times less** than diesel powered trash trucks that service households and businesses in the community every day.

What is Carbon Monoxide (CO)?

CO (Carbon Monoxide) is a colorless, odorless gas that can be harmful when inhaled in large amounts. CO is released when something is burned. The greatest sources of CO to outdoor air are cars, trucks and other vehicles or machinery that burn fossil fuels. A variety of items in your home such as unvented kerosene and gas space heaters, leaking chimneys and furnaces, and gas stoves also release CO and can affect air quality indoors. The Clean Air Act requires EPA to set national ambient air quality standards for carbon monoxide as one of the six criteria pollutants. The law also requires EPA to periodically review the standards and revise them if appropriate to ensure that they provide the requisite amount of health and environmental protection and to update those standards as necessary.

As our chart illustrates; the amount of CO emitted from the FT III Cremator is more than **65 times less** than the operation of a gas powered leaf blower.

What is Particulate Matter (PM)?

"Particulate matter," also known as particle pollution or PM, is a complex mixture of extremely small particles and liquid droplets. Particle pollution is made up of a number of components, including acids (such as nitrates and sulfates), organic chemicals, metals, and soil or dust particles. Particulate matter comes from many sources including smoke, dirt & dust from factories, farming, driving cars and trucks on roads, burning plants (brush / forest fires or yard waste), your home fireplace and even pollen.

As our chart illustrates; the amount of PM emitted from the FT III Cremator is more than **2 times less** than the operation of a residential fireplace.



Cremation & Incineration Equipment

FT The Americas – info.usa@facultatieve-technologies.com
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FT III Cremator



The FT III is the most advanced cremator in the world

The fully automated control system enables 75 minute cremations as an average with fully integrated combustion controls meeting the most stringent environmental standards without human intervention.

The integrated control system constantly adjusts and controls variables to reduce the gas consumption and electrical power usage.

The technical engineering of the FT III cremator offers a wide variety of options and possibilities in order to answer to your specific needs and/or building requirements.

The FTIII is a product that can be adapted for future changes in environmental standards and requirements such as filtration.

FT cremators are not only the most advanced but also the most cost efficient cremators on the market

The self diagnostic integrated software combined with our Online customer support offers our clients the best solutions.

The intuitive control and HMI (Human Machine Interface) system offers each client a customized reporting package which can be securely linked to your central administration facility.

- Average cremation times of 75 - 90 minutes.
- Daily operation: without limit 24 hours/day, no cooldown time between cremations (pursuant to local permitting)

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On board SCADA package



Remote access standard

FT III

Specifications	
Installed Height:	10' 10" / Low Profile Design is less than 10'
Installed Width:	7' 1"
Length:	12' 8"
Weight:	32,000 lbs
Fuel:	Natural gas / LPG
Opening for installation:	Standard 8' wide x 9' tall
Daily operation:	Without limit 24 hours/day, no cooldown time between cremations (pursuant to local permitting)
Average cremation time:	75 - 90 minutes
Door opening	43" x 30"



Electrical Characteristics	
Combustion air fan:	1,200 cu.ft/min at 68°F, 7 HP
Ejector air fan:	1,200 cu.ft/min at 68°F, 7 HP
Electrical supply:	80 amps, 208-230 Volts, 60 Hz, three phase, 5 wire (3 line, 1 ground, 1 neutral) Or 100 amps, 208-230 Volts, 60 Hz, single phase



Fuel Characteristics	
Burner ratings: • Primary Burner: • Secondary Burner:	• 950,00 Btu/hr • 1,100,000 Btu/hr
Natural Gas Requirements	Minimum 2 psi @ 2.5 mm BtuH
LPG usage on request	

FT related products



FTUSA V2



Table Loader



HSC & ATC



Infant Charging Trolley



Ash Storage/Cooling rack



Cremation & Incineration Equipment

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 FT is part of 'the Facultatieve Group'

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Cremation & Incineration Equipment

TECHNICAL SPECIFICATIONS

FT II / FT III CREMATORS



Date: October 2017

US Manufactured FT II & FT III

E. Kassoff

Facultative Technologies The Americas, Inc.

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I.0 INTRODUCTION

The **FT II & FT III** Cremators' have been designed to cater to the specific needs of the modern day crematorium facility. The cremators' enable the proper disposal of coffins and human remains while complying with the necessary flue gas emission requirements and legislation of city, state and federal agencies.

These cremators have been specifically designed after many years of experience and research in this specialized field. In designing the cremators, we have minimized the necessary labor required to operate it, and therefore the simplicity of its design ensures easy operation.

The design of these cremators is very capable of reducing the body to a high quality inert ash in a very efficient manner.

I.1 The Advanced Technical Features of the FT II & FT III Cremator

- **Excellent environmental performance** - emissions conforming to current U.S.A. and other world standards.
- **Robust solid hearth** - providing single pass raking
- **Excellent extended hearth life.**
- **Highest quality refractory** - including 63% Alumina in areas of heavy wear.
- **Robust construction** - a design capable of 6 or more cremations per day with cremation times around 75 to 90 minutes are fully achievable.
- **One secondary combustion zone burner** to ensure a secondary zone temperature of 1600°F or 1800°F (required by local permitting), which can be maintained under all conditions of normal operation.
- **Aesthetically pleasing cabinet** with easily removable factory finished decorative covers.
- **Automatic control of air** - for both combustion and flue gas cooling purposes.
- **Advanced modern PLC control** to ensure optimum combustion conditions by continuously monitoring all combustion processes throughout each cremation.
- **Automatic control of suction.**
- **Automatic temperature control** of both primary and post combustion zones.
- **Automatic fail safe** against over temperature and pressure.
- **Compact design**, enabling easy installation.

2.0 ENVIRONMENTAL PERFORMANCE

The design of this cremator provides a secondary combustion zone, which maintains the flue gas temperature greater than 1600°F or 1800°F for a time of greater than 2 seconds during operation, with oxygen content of greater than 6%.

Similarly emissions of Carbon Monoxide will be less than 4.4 grains/100s ft³ at all time, as measured at reference conditions of 11% O₂, 1 atm, 32°F, dry.

3.0 PROPOSED INSTALLATION

The **FT II & FT III** Cremators' are of a modular design, which allows the user to pick and choose the options available.

The basic **FT II & FT III** cremator will consist of the following:

- Single or double end design
- Dedicated combustion air fan.
- Dedicated draft control system comprising of an ejector air fan and ejector system.
- Automatic PLC based control system in conjunction with:
 - ✓ Easy to use Human Machine Interface (HMI) in the form of a standard 15" Touch Screen incorporating a FT designed SCADA system and standard data logging package.
- Remote engineering support - via broadband connection.
- Stainless steel chimney

In addition, the following **options** may be considered:

- Remote location of combustion air fan and ejector fan.
- Automatic Cremation Container Loading Systems.
- Additional Flue Gas Monitoring Equipment – CO Analyzer, Opacity and Particulate monitors.

4.0 CREMATOR GENERAL DESCRIPTION

4.1 Principle of Operation

The cremator is comprised of a large primary chamber of generous proportions into which the cremation container is inserted and within which the primary combustion takes place. The hearth floor is lined with flat sillimanite tiles which are easily replaced when required. To keep the primary chamber entirely separate from the secondary chamber and avoid bypassing of the flue gases, the hearth itself contains no openings; this ensures that all materials are retained for combustion in the primary chamber. The waste gas produced from this phase of the process exits the primary chamber via transfer ports in the chamber sidewall, descending below the solid hearth into the secondary combustion zone in which the gas phase combustion takes place.

The gases enter this zone and are then heated if necessary by the secondary zone burner and treated by the introduction of additional air. The flue gases make numerous passes within the secondary combustion zone, where the temperature is maintained at the required combustion temperature of 1600°F or 1800°F (local permitting requirements). The two requirements of temperature and oxygen are met to ensure compliance to the local, state and federal environmental requirements. Feedback to the control system from the emissions monitoring equipment ensures close control is always maintained, resulting in low pollutant emissions and excellent fuel economy.

4.2 Primary Combustion Chamber

The primary chamber is equipped with a single Facultatieve Technologies designed burner located in the end wall and two independently controlled sets of air jets. The locations of the air jets are critical to maintain superior combustion properties are located as follows:

- Top air introduced along the top of primary combustion chamber.
- Side air introduced along the sidewall of the cremator slightly above the hearth.

4.3 Secondary Combustion Zone

The FT cremator benefits from a generously designed secondary combustion zone, 3.2m³. in volume, and is of sufficient size to ensure a flue gas residence time of 2 seconds at all times during operation.

The FT cremator is designed with a secondary combustion zone comprising a series of passes below and to one side of the primary chamber. One independently operated Facultatieve Technologies designed burner within this zone ensures that the temperature requirements are maintained while adequate supplies of secondary air and the tortuous flue path ensure high levels of turbulence to promote complete combustion.

The post combustion of the flue gases is completed within these high intensity areas, and thus all smells and smoke are eliminated. The design of the post combustion chambers ensures a lengthy, complex passage through the cremator prior to the flue gas exit.

4.4 Combustion System

The primary chamber burner has a maximum rating of 950,000 Btu/hr and this enables normal operating temperature in the range of 1470°F to be achieved in the primary chamber.

(The maximum allowable operating temperature is 2100°F).

The secondary combustion zone burner has a maximum rating of 1,100,000 Btu/hr enable temperatures of 1600°F or 1800°F (local permitting regulation) to be achieved in the secondary chamber as required by local, state and federal environmental regulations.

The primary and secondary burners are mounted at the rear of the cremator facilitating easy access for maintenance and repair.

The burners are configured for **full modulating control**, are ignited automatically and the burner system is protected against flame failure, thereby complying with the gas regulations outlined by NFPA and other North American agencies.

4.5 Control Valves and Instrumentation

The addition of combustion air to the combustion process is regulated by five modulating control valves, controlling the individual supply of air to each of the burners, primary chamber and to the secondary chamber.

The cremator primary chamber under-pressure condition is controlled via a differential pressure transducer, controlling the draft generation system and provides protection against system overpressures.

The primary chamber and secondary chamber temperatures are measured via type K thermocouples; temperatures are displayed on the interactive touch screen controller.

4.6 Combustion Air System

The cremator is supplied with combustion air by a dedicated fan designed to be capable of providing the required air pressure and flow for proper cremator operation. For higher operational efficiencies and reduced operational costs the fan is controlled by a variable speed inverter to ensure that the minimum of energy is used during the cremation process. The fan is located in an integrated enclosure within the cremators' decorative panelling and the enclosure is acoustically lined.

4.7 Induced Draft System - Cremator Under-pressure / Draft Generation

The cremator under-pressure is constantly measured and controlled by the addition of a cooling air volume into the hot flue gases via a Facultatieve Technologies designed **coanda** ejector located in the cremator waste gas outlet.

The volume of ejector air is constantly modulated by a variable speed inverter controlled ejector fan motor, the speed of the fan (hence the level of draft) is controlled by the cremators PLC control system.

Additionally, a pressure sensor controller continually monitors any overpressure condition within the cremators' primary chamber. On detection of overpressure the combustion air to cremator is automatically turned off so that the combustion rate within the cremator is rapidly reduced. On sustained overpressure, the cremator will go into abort mode until the cause of problem is identified (for example, this could be the failure of the ejector air supply).

This separate ejector fan is located in an integrated enclosure within the cremators' decorative panelling, which is acoustically lined.

4.8 Cremator Process Control – PLC Based

The cremator is supplied with a dedicated **Programmable Logic Controller (PLC)**; this controller supervises the operation of the cremator, the combustion process and automated loading (if utilized).

The cremators' control panel design is based upon a modern "*compact design*" PLC, complete with 32 digital inputs and 32 digital outputs in standard configuration with a maximum of 48 dependant on options fitted to each individual cremator. The programmable logic controller is preloaded with our dedicated control software program.

Facultatieve Technologies utilizes the Mitsubishi PLC and associated *Melsec* computer software for process control of the cremator.

Manufacturer: Mitsubishi
Base unit Type: FX3U – 64 MR

The PLC system has total control of the cremator and all its functions in order to complete the cremation process once the primary chamber has been charged. The requirement for operator assistance is negated, therefore simplifying the day to day operation of the cremator.

The PLC system automatically varies the combustion program according to charge cremation container type and body weight (selection by the operator prior to charging). The PLC system constantly monitors signal inputs from thermocouples, separate controllers, and gas analysers while controlling the combustion air levels, burner operation and draft control system. This ensures total control of the cremator at optimum performance levels, guaranteeing cremations times are reduced, fuel efficiently is increased and emission limits are adhered to.

The system also monitors for combustion and component faults, taking appropriate action as required and transmitting fault alarms to the operator display. Should the need arise; provision

has been included for manual override. Manual control of the cremator is then logged by the control system for verification of the process. However, the control system has specific software to safeguard the machine while under manual control preventing any dangerous situation from arising from incorrect manual operation.

The control enclosure, including the PLC system is located either on the rear or the side of the cremator. This location minimizes any of the effects that excess heat might cause and is adequately ventilated to ensure trouble free operation.

4.9 Operator Control Interface (H.M.I)

HMI Manufacturer	ELO Touchsystems
Model	I515L

The cremator is provided with a **Human - Machine Interface (H.M.I)** to enable the cremator operator to communicate with the cremator. The graphical interface is a liquid crystal alpha numeric display. This display comprises a backlit Liquid Crystal Display (LCD) which shows all aspects of the cremator thus allowing the operator access to observe and control the cremator operation. Inputs are via a membrane button keypad; this display unit is normally mounted near the charge door of the cremator. It can be remotely mounted to suit individual site requirements.

4.10 Personal Computer Based Control System Including Data Logging

The cremator is supplied with a personal computer (PC) for the operator to observe the operation of the cremator from a separate office area. This PC based control system is equipped with the Facultatieve Technologies industry leading control graphics package, and offers the added benefit of data logging and remote engineering support via a computer link.

The PC is equipped with the following software preinstalled:

- Microsoft Windows 10 operating system
- Opsoft for Windows
- Integrated graphics package
- Remote computer access software such as Team Viewer

For the above control interface, the PLC system communicates with the computer system, thereby allowing the use of our Opsoft graphics package to operate a **Supervisory Control And Data Acquisition system** – known as **SCADA**.

The software control program includes automatic data logging and this information is used to automatically generate a report in a format agreed by the Environmental Authorities and requires no further manipulation by the operator.

4.11 Cremator Process Control – Safety Features

The burner safety systems are housed separately from the burners. They comprise of flame failure safety relays connected to a flame rectification type probe to monitor "start" flame and "main" flame. In the event that there is a flame failure in either the main burner or afterburner, these units will automatically shut off the gas and air supply valves. This will prevent burner ignition if any of the safety circuits are not energized.

An additional safety feature utilizes separate gas and air pressure switches which will shut off the burners if the air supply or gas pressure falls below or above pre-determined safety levels.

Electrical interlocks prevent the charging door being opened for the introduction of a coffin unless the temperature in the secondary combustion zone exceeds the minimum local requirement (typically 1600°F - 1800°F). For additional safety, the charging door will only partially open during the de-ashing procedure.

The cremator is equipped with an automatic suction control to maintain a pre-set suction condition within the primary chamber for all normal combustion conditions. This is achieved by the dedicated ejector fan.

4.12 Remote Engineering Support

To enable remote engineering support, the standard PLC control system is supplied with an industrial type computer modem, which enables remote observation of cremator parameters, retrieval and analysis of cremator emission data. This enables the cremator to be observed remotely by our technicians to resolve operating issues without the initial requirement to visit the site to rectify the problem. In addition, current cremator units operating in the field have allowed the modem to allow offsite maintenance scheduling and system management as well as remote monitoring of performance with Facultatieve Technologies technicians.

4.13 Flue Gas Monitoring

The *FT II* and *FT III* cremators are supplied with an oxygen analyzer (detailed below), The oxygen analyzer is connected to the PLC system and displayed on the Cremator control screen for easy reference by the operator.

4.13.1 Oxygen Analysis System

Principle of operation	Zirconia based
Manufacturer	Fuji Electric
Analyser Model Type	ZRM
Detector Model	Type ZFK 2

Complete with high temperature stainless steel flow guide tube, suitable for high temperature operation.

The standard configuration above provides for the continuous monitoring of:

- Oxygen.
- Primary chamber temperature.
- Secondary combustion chamber temperature.

4.13.2 Oxygen & Carbon Monoxide Monitor (optional)

Manufacturer	Land Combustion
Model	FGA 930

4.13.3 Oxygen & Carbon Monoxide Analysis System (optional)

This is based upon the Siemens Ultramat 23 Analyser utilising extractive flue gas sampling and conditioning. The Siemens Ultramat 23 has a fast response electrochemical cell for Oxygen detection and uses infra-red for carbon monoxide detection.

5.0 CREMATOR CONSTRUCTION DESCRIPTION

5.1 Shell and Framework

The shell and framework of the cremator is fabricated of steel plate and sectional steel construction, braced for rigidity, to properly support the refractory and insulating materials with which the shell is lined.

The overall external dimensions of the cremator are:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Length	12' 8"	12' 5"	12' 8"	12' 5"
Width	7'	7'	7' 1"	7' 1"
Height	8' 1"	8' 1"	8' 1"	8' 1"
Height over door gear	10' 10"	10' 10"	10' 10"	10' 10"
Weight	32,000 lbs.	34,000 lbs.	32,500 lbs.	34,500 lbs.

5.2 Cremator Charging Door

The insulating brick lined charge door is located at the front of the cremator, counterbalanced and suspended on precision roller chains for ease of operation. Operation is by means of the adjacent push buttons, which controls the electric motor via a variable frequency drive. The primary chamber door is interlocked to prevent charging unless the secondary combustion chamber temperature is above the minimum regulated temperature (typically 1600°F - 1800°F). The door opens to the full dimensions of the primary chamber allowing for maximum coffin size. **Please note;** a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

The dimensions of the charging door opening are:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Width	35"	35"	43"	43"
Height	30"	30"	30"	30"

The **recommended maximum** size of cremation container which can be inserted into the machine is:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Length	92"	92"	92"	92"
Width	33"	33"	41"	41"
Height	28"	28"	28"	28"

Note:

With cremation containers longer than 7' 0" please refer to Operations Manual instructions for "special loading" instructions (or contact Facultatieve Technologies directly) when utilizing any FT supplied Automated Loading devices.

5.3 Ash Removal

5.3.1 Single Ended Cremator

Access for raking on single ended units is through the charging door. At the end of the cremation, the door is opened to a safe, partially open position and the suction fan is energized which protects the operator from the radiant heat. The door is operated by a pushbutton and door height is controlled by PLC control system. **Please note**; a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

5.3.2 Double Ended Cremator

Access for raking on double ended units is through a dedicated rear ash door. At the end of the cremation, the door is opened by pushbutton operation to its fully open position, giving the operator easy access to the cremated remains. This door is designed and installed in a similar manner to the charging door. In the open position, the access opening is 9” high x 13” wide. **Please note**; a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

In both of the above designs, the ash is raked and moved directly to the integral ash chute into a refractory lined ash box positioned below the ash out door. While within the refractory lined ash box, ashes are cooled automatically by a flow of air supplied by cremator blower system. The cooled ashes can then be dropped into the removable stainless ash box, by manually opening the cast iron slide plate. The ashes can then be removed from the cremator and transported for processing.

5.4 Access for Maintenance

The requirement of access for maintenance has been carefully considered in the cremator design, and easy removable panels have been provided for the cleaning out of accumulations of ash in any of the chambers and flue passages. Access ports to the secondary chamber and flue are provided for this purpose.

5.5 External Finish

Externally, the cremator shell is clad with pre-finished powder coated panels before leaving our production facility. Consequently, no additional finishing of these items is required and they are a distinctive feature of the cremator.

As well as giving the cremator a pleasing appearance, the panels ensure operator safety, by preventing any hot surfaces from being touched. The panels ensure a gap of air between the internal cremator shell and the external surfaces. This greatly reduces the external surface temperatures experienced.

The charging door at the front of the cremator as well as the rear ashing out door on double ended models are faced with stainless steel surrounded by a stainless steel bezel.

5.3 Refractory Materials

5.6.1 Refractory Lining

The Brick / Refractory lining is of superior quality, comprising fire-brick, backed by calcium silicate insulation and micro-porous insulating materials.

Location of refractory in cremator	Quality of refractory (Alumina content)	Thermal conductivity (W/m °C)	Bulk density (g/cm ³)	Maximum operating temperature (°F)
Used in areas of high turbulence	63%	2.0	2.25	2915
Used in cremator sidewalls	42%	1.9	2.25	2552
Used in cremator hearth	65%	1.62	2.45	2915
Castable refractory used for burner throat, lintels and outlet port	50%	N/A	2.37	2915
Ash chute	50%	N/A	2.37	2552

5.6.2 High Quality Insulation

Type and location of insulation	Insulation thickness (in.)	Thermal conductivity (W/m °C)	Bulk density (g/cm ³)	Maximum operating temperature (°F)
Calcium Silicate Insulation used in the areas around and between the refractory and the steel casing	2.00" - 3.00"	0.10	0.2	2012
High grade micro-porous insulation included within the insulation layers between the steel casing and the internal refractory	1.00" - 2.00"	0.3	0.3 to 0.35	2012

The quality and thickness of the insulation materials used in the construction of the cremator are such that the exterior shell is kept at a safe temperature for the operators at all times.

6.5 Cremation Capacity

This design of cremator is robust, and can perform up to **8 cremations per normal working day** (10 hours); however, it is fully capable of operating for extended periods beyond “normal working hours”, as required.

6.6 Air Requirements

	Volume (ft ³ N/min)	Pressure (in. w.c.)	Motor (HP)	Manufacturer	Model
Combustion Air Fan	850(Design)	17.5	7.5	Cincinnati Fan	HP Series
Ejector Air Fan	300 (Min) 1500 (Max)	19	7.5	Cincinnati Fan	HP Series

	Modulating flow	
	Max flow (ft ³ N/min)	Min flow (ft ³ N/min)
Combustion air to primary chamber	300	0
Secondary chamber air	500	0

Air fan frequency inverter variable speed controller:

Manufacturer	Allen Bradley
Model	Power Flex 40

6.7 Cremator Process Data

	Temperatures (°F)		Static Under-Pressure
	Max	Min	
Primary chamber	2100	1380	-0.025 to 0.275” w.c.
Secondary chamber	2100	1600	N/A

Note: Primary chamber temperature and pressure varies with progress of cremation.

6.8 Flue Gas Conditions

	Condition
Flue gas temperature	1600°F -1800°F
Content of carbon monoxide Typical content over the cremation	<2.5 grains /s ft ³ (Using natural gas fuel)
Flue gas particulate content (Typically)	<4.5 grains /s ft ³

Gas sampling for combustion control of flue gases is made in the exit duct of the cremator.

All above figures are given at reference conditions of 32F, 1 atm, dry, 11 % vol/vol oxygen

6.9 Cremator Heat Loss

Although fabricated from the highest quality refractory and insulating materials, the cremator will lose heat to its surrounding environment. This heat loss is via convection, from all its surfaces, and is calculated at 50,000 Btu/hr at maximum.

6.10 Cremator Control / Instruments

Thermocouples

Primary chamber	No 1	Type K - Ni / Cr Element
Secondary chamber	No 1	Type K - Ni / Cr Element
Chimney	No 1	Type K - Ni / Cr Element

Each of the above probes is connected to an indicator mounted on the control panel for visual indication of all process values.

	Manufacturer	Type
Primary chamber pressure controller	Dwyer	DH II Digihelic
Cremator air valve motors	Kromschroder OR Siemens	IC 40 SQM 40

Facultatieve Technologies has a policy of continuous improvement, and therefore reserve the right to amend this technical specification without prior notice.



Cremation & Incineration Equipment

INSTALLATION SPECIFICATIONS

FT III CREMATORS



Date October 2018

US Manufactured FT II

E. Kassoff

Facultative Technologies The Americas, Inc.

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MATERIALS TO BE CREMATED: Humans and miscellaneous waste from embalming

MAXIMUM CHARGE SIZE: 1,200 lbs at 43" Maximum Width

CREMATION RATE: 150 – 200 lbs/hr

CYCLE TIMES: Preheat Time per Day Average: 35 minutes
Normal Cremation Time: 75 - 90 Minutes

UTILITIES:

FUEL: Natural Gas or Propane – 2.1 million Btu/hr

Required Pressure – 2 PSI Minimum

1 1/2" Gas Line Required to Cremator from Rotary Gas Meter

ELECTRICAL SERVICE: 208 - 230V, 3 PHASE, 60 Hz

80 Amp service (standard)

5 Wire Service / 3 hot legs, 1 ground, and 1 neutral properly bonded in feeding breaker panel

OPTIONAL: 208 - 230V, 1 PHASE, 60 Hz

100 Amp service (standard)

4 Wire Service / 2 hot legs, 1 ground, and 1 neutral properly bonded in feeding breaker panel

OUTSIDE DIMENSIONS:

Single Ender 12' 8" L x 7' 1/2" W x 10' 10" H
Lowest point to rig cremator into building 9' 3"

Double Ender 12' 6" L x 7' 2" W x 10' 10" H
Lowest point to rig cremator into building 9' 3"

With Optional Auto-Loader (single ender) Add 12' to Length in Front of Cremator

With Optional Auto-Loader (double ender) Add 12' to Length in Front of Cremator

CLEANOUT:

Single ender Add 12' to Length in Front of Cremator

Double Ender Add 12' to Length in Rear of Cremator

CLEARANCE AROUND CREMATOR:

- ❖ Cremator can be placed within 6 inches to a combustibile wall.
- ❖ Minimum 3 feet in rear of cremator for single ender and 12 feet in rear for double ender.
- ❖ Maintain a minimum of 12 feet in front of cremator for either single or double ender

RECOMMENDED CONCRETE PAD: 15' L x 10' W x 6" thick rebar reinforced concrete

LOADING EQUIPMENT:

FT Automatic Insertion Loader Requires Extra 12' Clearance in Front of Cremator
Lateral 10' of Movement
Guide Track Mounted into front of cremator

PRIMARY CHAMBER:

Shell: ¼" steel plate walls reinforced with structural angle and channel.

All seams are continuous welded.

Hearth Area:

Single Ender 43" Wide x 110" Long

Double Ender 43" Wide x 98" Long

Operating Temperature: Ambient to 2,000° F

Primary Burner: Facultative Technologies Designed Burner
850,000 Btu Maximum

Fully Modulating Air and Gas

Charge Door Opening: 43" Wide x 33" High

Thermocouple: 18" Type K Stainless Steel

SECONDARY CHAMBER:

Retention Time: Minimum - Full 2 Seconds

After Burner: Facultative Technologies Designed Burner
1,200,000 Btu Maximum

Fully Modulating Air and Gas

Thermocouples: 18" Type K Stainless Steel

Secondary Air: Fully Modulating Valve controlled by PLC

CHIMNEY:

STACK:

11 Gauge Stainless Steel (No Lining)

Minimum of One 10' Section Used For Flue Gas

- 🔥 Exhaust ducting is wrapped in 2" ceramic fiber and 2" of rock wool insulation covered with aluminum cladding to insure minimal heat released to the inside of the crematory.
- 🔥 **Minimum roof penetration opening 44 in. square**

Thermocouple on Stack

1 Surface Mounted Type K

WEATHER PROTECTION:

- Includes Insulated Thimble to protect wood trusses and drywall from heat
- Includes Roof Flashing and Ring to wrap around stack to keep weather out

PAINT AND PREPARATION:

All exterior metal parts are machine tool cleaned and painted with 2 coats of High Temperature Gray Paint

DECORATIVE CLADDING:

Removable 16 Gauge Panels on Sides

Hinged 16 Gauge Panels 1" Deep on Front and Rear (*on double ender only*)

Powder Coated Finish

BLOWERS:

Standard - Interconnected to Cremator

See below for remote blower installation

COMBUSTION AIR BLOWER:

20 Amp / 7.5 Horsepower

Motor "Variable Frequency Drive" Controlled

1200 CFM Intake Air

EDUCTOR BLOWER:

20 Amp / 7.5 Horsepower

Motor "Variable Frequency Drive" Controlled

1200 CFM Intake Air

GAS PIPING:

The cremator will be completely piped and pre-assembled for shop testing. There will be a 1½" NPT union for the gas service connection on the rear of the cremator.

WIRING:

The entire retort will be pre-wired and tested at our shop prior to shipment. Wiring upon installation only requires one main service to the control panel.

Remote Blowers:

The remote location of the blower cabinet will require the electrical contractor to provide inter-connecting wiring between the blowers and cremator. The blower housing contains two (2) blowers; one each for combustion and for one to provide suction / draft for the cremation process. Therefore, the blower housing requires two (2) sets of wires (4 wires- 3 hot/1ground) in separate conduits for the fans to properly operate.

In addition, your local city may require disconnects placed at the blowers. Please check with your local city code department to see what the requirement may be. The blower motors are 7.5 HP each and require 20 amp service. Facultatieve Technologies technician will make final connections of this wiring between the blowers and cremators.

If remote blowers are placed outside, they must be placed in a waterproof enclosure prior to commissioning of the system.

CONTROLS & INSTRUMENTATION:

All of the controls and instrumentation will be mounted in a NEMA 4 control panel (UL 508A Approved).

Cremation Controls:	PLC Controlled - No Operator Manual Control Required During Cremation
Interface:	Computer with 15" Touch Screen Controls for Operator ease of use
Temperature Recording:	Computer will continuously record Primary, Secondary, and Flue Temperatures for easy monitoring and access

ESTIMATED SHIPPING WEIGHT: 32,000 lbs for Cremator plus Stack

Facultatieve Technologies has a policy of continuous improvement, and therefore reserve the right to amend this technical specification without prior notice.

EXHIBIT B

A-Z Counties & Cities

California Counties by Population

California Counties by Population

Get a list of California counties by population. The data is from the US Census. Below are 58 California counties ranked 1 through 58.

(15 counties do not have crematories)

Rank	County	Population	# of Crematories	# of Crematories per person
1	Los Angeles County	10,170,292	27	376,677.481
2	San Diego County	3,299,521	5	659,904.2
3	Orange County	3,169,776	13	243,828.923
4	Riverside County	2,361,026	15	157,401.733
5	San Bernardino County	2,128,133	11	193,466.636
6	Santa Clara County	1,918,044	6	319,674
7	Alameda County	1,638,215	14	117,015.357
8	Sacramento County	1,501,335	14	107,238.214
9	Contra Costa County	1,126,745	5	225,349
10	Fresno County	974,861	9	108,317.889
11	Kern County	882,176	8	110,272
12	San Francisco County	864,816	0	
13	Ventura County	850,536	3	283,512
14	San Mateo County	765,135	4	191,283.75
15	San Joaquin County	726,106	5	145,221.2
16	Stanislaus County	538,388	5	107,677.6
17	Sonoma County	502,146	8	62,768.25
18	Tulare County	459,863	4	114,965.75
19	Santa Barbara County	444,769	4	111,192.25
20	Solano County	436,092	4	109,023
21	Monterey County	433,898	4	108,474.5
22	Placer County	375,391	0	
23	San Luis Obispo County	281,401	6	46,900.167
24	Santa Cruz County	274,146	3	91,382
25	Merced County	268,455	2	134,227.5
26	Marin County	261,221	3	87,073.667
27	Butte County	225,411	5	45,082.2
28	Yolo County	213,016	0	
29	El Dorado County	184,452	2	92,226
30	Imperial County	180,191	2	90,095.5
31	Shasta County	179,533	4	44,883.25
32	Madera County	154,998	0	
33	Kings County	150,965	0	
34	Napa County	142,456	1	142,456
35	Humboldt County	135,727	2	67,863.5
36	Nevada County	98,877	3	32,959
37	Sutter County	96,463	2	48,231.5
38	Mendocino County	87,649	4	21,912.25
39	Yuba County	74,492	2	37,246
40	Lake County	64,591	2	32,295.5
41	Tehama County	63,308	1	63,308
42	San Benito County	58,792	1	58,792
43	Tuolumne County	53,709	1	53,709
44	Calaveras County	44,828	0	
45	Siskiyou County	43,554	2	21,777
46	Amador County	37,001	1	37,001
47	Lassen County	31,345	0	
48	Glenn County	28,017	0	
49	Del Norte County	27,254	1	27,254
50	Colusa County	21,482	0	
51	Plumas County	18,409	2	9,204.5
52	Inyo County	18,260	0	
53	Mariposa County	17,531	0	
54	Mono County	13,909	0	
55	Trinity County	13,069	1	13,069
56	Modoc County	8,965	0	
57	Sierra County	2,967	0	
58	Alpine County	1,110	0	

EXHIBIT C



Department of Consumer Affairs
Cemetery and Funeral Bureau

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Search Results for Crematory

This information is updated Monday through Friday - Last updated: FEB-02-2017

To see all the information for a licensee, click on the highlighted name. This will also include disciplinary actions if any are present.

Name	Type	Number	Status	Address	City	Zip	County
CORTEZ CREMATIONS AND FUNERAL SERVICES CORP.	CR	377	CLEAR	100 W 35TH STREET STE A	NATIONAL CITY	91950	SAN DIEGO
CREMATION SERVICES, INC	CR	75	CLEAR	2570 FORTUNE WAY	VISTA	92081	SAN DIEGO
CYPRESS VIEW CREMATORY	CR	133	CANCELLED	3953 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
CYPRESS VIEW CREMATORY	CR	368	CLEAR	3953 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
ETERNAL HILLS MEMORIAL PARK, MORTUARY & CREMATORY	CR	187	CLEAR	1999 EL CAMINO REAL	OCEANSIDE	92054	SAN DIEGO
GREENWOOD MEMORIAL PARK AND MORTUARY	CR	370	CLEAR	4300 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
GREENWOOD MEMORIAL PARK AND MORTUARY	CR	207	CANCELLED	4300 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
LENEDA INC	CR	27	CANCELLED	14065 HIGHWAY 8 BUSINESS	EL CAJON	92021	SAN DIEGO
UCSD BODY DONATION	CR	121	CLEAR	UC SAN DIEGO MEDICAL EDUCATION	LA JOLLA	920930627	SAN DIEGO

Records 1 to 9

[First Previous](#)

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EXHIBIT D

CANA

2021 ANNUAL STATISTICS REPORT

A YEAR OF UNPRECEDENTED CREMATION NUMBERS AND CONTINUED PREDICTABLE GROWTH RATE



UNITED STATES

2
0
1
9

2,864,869
DEATHS

1,563,164
CREMATIONS

54.6%
CREMATION
RATE

2
0
2
0

3,358,697
DEATHS

1,844,164
CREMATIONS

56.1%
CREMATION
RATE

Source: CANA • www.cremationassociation.org



CANADA

2
0
1
9

285,173
DEATHS

205,988
CREMATIONS

72.2%
CREMATION
RATE

2
0
2
0

306,468
DEATHS

224,081
CREMATIONS

73.1%
CREMATION
RATE

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EXHIBIT E



FUNERAL CONVERGENCE

2018 Annual Report Case Total by Funeral Establishment San Diego County California

License	Funeral Establishment	City	Total	Cremation	Percent Cremation
2109	ABBAY CREMATION & FUNERAL SERVICE	EL CAJON	167	84	50.30%
1528	ACCUCARE CREMATION & FUNERALS	CARLSBAD	742	723	97.44%
2041	ACCUCARE CREMATION & FUNERALS	SAN DIEGO	226	218	96.46%
297	ALHISER COMER MORTUARY	ESCONDIDO	329	193	58.66%
1733	ALL FAITHS MORTUARY	SAN DIEGO	0	0	0.00%
2228	ALL SOULS CREMATION & BURIAL	CHULA VISTA	38	38	100.00%
1378	ALLEN BROTHERS MORTUARY - SAN MARCOS CHAPEL	SAN MARCOS	201	134	66.67%
1120	ALLEN BROTHERS MORTUARY-VISTA CHAPEL	VISTA	198	131	66.16%
2306	ALTAR FUNERAL HOME	SAN DIEGO	235	25	10.64%
1320	AM ISRAEL MORTUARY	SAN DIEGO	282	48	17.02%
1956	AMERICAN CREMATION SERVICE	ESCONDIDO	241	219	90.87%
1808	AMERICAN CREMATION SERVICE	CARLSBAD	200	182	91.00%
1752	AMERICAN CREMATION SERVICE	SAN DIEGO	631	617	97.78%
1329	ANDERSON - RAGSDALE MORTUARY	SAN DIEGO	173	58	33.53%
1658	AZTLAN MORTUARY	LA MESA	867	475	54.79%
2185	AZTLAN MORTUARY NORTH CO.	VISTA	0	0	0.00%
1370	BALBOA CREMATION SERVICE	SAN DIEGO	230	229	99.57%
1713	BAYVIEW CREMATORY & BURIAL SERVICE	CHULA VISTA	25	24	96.00%
1661	BAYVIEW CREMATORY AND BURIAL SERVICES	SAN DIEGO	395	350	88.61%
1424	BAYVIEW CREMATORY AND BURIAL SERVICES	SAN DIEGO	0	0	0.00%
816	BEARDSLEY-MITCHELL FUNERAL HOME	SAN DIEGO	91	33	36.26%
828	BERRY-BELL & HALL FALLBROOK MORTUARY	FALLBROOK	74	2	2.70%
1673	BISHOP MORTUARY	LEMON GROVE	126	44	34.92%
568	BONHAM BROS. & STEWART MORTUARY AND CREMATION SERVICE	RAMONA	173	137	79.19%
2057	CALI HOME FUNERAL SERVICES	SAN DIEGO	110	64	58.18%
1357	CALIFORNIA CREMATION & BURIAL CHAPEL	SAN DIEGO	239	188	78.66%
1689	CALIFORNIA CREMATION & BURIAL CHAPEL	NATIONAL CITY	284	148	52.11%
1624	CALIFORNIA FUNERAL ALTERNATIVES INC	ESCONDIDO	304	264	86.84%
1994	CALIFORNIA FUNERAL ALTERNATIVES, POWAY	POWAY	174	153	87.93%
2289	CARE CENTER CREMATION & BURIAL NORTH	ESCONDIDO	0	0	0.00%
2097	CARE CENTER CREMATION AND BURIAL	SAN DIEGO	285	248	87.02%
1126	CLAIREMONT MORTUARY	SAN DIEGO	295	197	66.78%
1682	COMMUNITY MORTUARY	CHULA VISTA	267	186	69.66%
941	CONRAD LEMON GROVE MORTUARY	LEMON GROVE	116	49	42.24%
2243	CORTEZ CREMATIONS & FUNERAL SERVICES	NATIONAL CITY	135	129	95.56%
1618	CREMATION SERVICES INC.	VISTA	594	583	98.15%
670	CYPRESS VIEW MAUSOLEUM, MORTUARY AND CREMATORY	SAN DIEGO	188	63	33.51%
1907	DIRECT CREMATION	SAN DIEGO	157	156	99.36%
2125	EAST COUNTY MORTUARY & CREMATION SERVICE	EL CAJON	388	218	56.19%
1022	EL CAJON MORTUARY AND CREMATION SERVICE	EL CAJON	530	176	33.21%
857	EL CAMINO MEMORIAL	ENCINITAS	182	130	71.43%
1260	EL CAMINO MEMORIAL	SAN DIEGO	854	351	41.10%
296	ERICKSON-ANDERSON MORTUARY	LA MESA	114	49	42.98%
234	ETERNAL HILLS MEMORIAL PARK, MORTUARY AND CREMATORY	OCEANSIDE	742	411	55.40%
1083	FEATHERINGILL MORTUARY COLLEGE CHAPEL	SAN DIEGO	751	563	74.97%

SAN DIEGO COUNTY 2

2188 FUNERALS YOUR WAY
 964 FUNERARIA DEL ANGEL CHULA VISTA
 284 FUNERARIA DEL ANGEL NATIONAL CITY
 2276 FUNERARIA LA PAZ
 1371 GLEN ABBEY MEMORIAL PARK AND MORTUARY
 790 GOODBODY MORTUARY
 843 GREENWOOD MEMORIAL PARK & MORTUARY
 2232 JOURNEY CARE
 2231 LA VISTA MORTUARY
 2198 LAKEPOINTE CREMATION AND BURIAL
 2009 LEGACY FUNERAL AND CREMATION CARE
 299 MCLEOD MORTUARY
 119 MERKLEY MITCHELL MORTUARY
 1929 MIRAMAR MEMORIAL SERVICES
 807 NATIONAL CITY-CHULA VISTA MORTUARY & CREMATION SERVICE
 1352 NEPTUNE SOCIETY OF SAN DIEGO
 1463 NORTH COUNTY CREMATION SERVICE
 253 OCEANSIDE MORTUARY
 815 PACIFIC BEACH-LA JOLLA CHAPEL
 795 PARIS FREDERICK MORTUARY & CREMATION SERVICE
 1195 POWAY-BERNARDO MORTUARY
 1746 PREFERRED CREMATION AND BURIAL
 1481 SAN DIEGO CREMATION SERVICE
 1964 SAN DIEGO FUNERAL SERVICE
 2310 SAN DIEGO MEMORIAL CHAPEL
 1272 TELOPHASE CREMATION SOCIETY
 1788 THRESHOLDS HOME AND FAMILY-DIRECTED FUNERALS
 1921 TRIDENT SOCIETY
 2144 TRINITY FUNERAL SERVICES
 2248 TRINITY FUNERAL SERVICES
 2110 VILLAGE CREMATION SERVICES, INC.

SAN DIEGO	218	211	96.79%
CHULA VISTA	380	122	32.11%
NATIONAL CITY	164	28	17.07%
SAN DIEGO	187	63	33.69%
BONITA	827	139	16.81%
SAN DIEGO	133	28	21.05%
SAN DIEGO	984	432	43.90%
SAN DIEGO	90	89	98.89%
NATIONAL CITY	139	42	30.22%
ESCONDIDO	32	28	87.50%
LA MESA	1274	713	55.97%
ESCONDIDO	148	82	55.41%
SAN DIEGO	127	48	37.80%
SAN DIEGO	167	51	30.54%
NATIONAL CITY	63	31	49.21%
EL CAJON	619	616	99.52%
SAN MARCOS	287	285	99.30%
OCEANSIDE	302	217	71.85%
SAN DIEGO	134	54	40.30%
EL CAJON	27	8	29.63%
POWAY	318	208	65.41%
SAN DIEGO	259	181	69.88%
SAN DIEGO	118	116	98.31%
SAN DIEGO	124	97	78.23%
EL CAJON	0	0	0.00%
SAN DIEGO	310	309	99.68%
SAN DIEGO	16	9	56.25%
SAN DIEGO	869	869	100.00%
SAN DIEGO	341	344	100.88%
CHULA VISTA	100	98	98.00%
CHULA VISTA	197	186	94.42%

California Deaths 2018
 California Cremations 2018

271255
 172479

For further information on these annual reports, to subscribe to our monthly or quarterly reports, or to obtain our archived reports, please contact Funeral Convergence at Info@FuneralConvergence.com

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FUNERAL CONVERGENCE P.O. Box 1571 Long Beach, California 90801-1571 ph: (831) 221-0075

**San Diego County Air Pollution Control District
Approved Crematoriums**

Business Name	Address	City	State	Zip Code
AA Sorrento Valley Pet Cemetery	10801 Sorrento Valley Road	San Diego	CA	92121
AAA Cremations	100 W 35th Street Suite A	National City	CA	91950
Cremation Services Inc	2570 Fortune Way	Vista	CA	92081
Cypress View Crematory	3953 Imperial Avenue	San Diego	CA	92113
Eternal Hills Cemetery Association	1999 El Camino Real	Oceanside	CA	92054
Friends Forever Inc	120 N Pacific Street #C-4	San Marcos	CA	92069
Greenwood Memorial Park	4300 Imperial Avenue	San Diego	CA	92113
La Vista Memorial Park	3191 Orange Street	National City	CA	91950
The Argen Corporation	6875 Nancy Ridge Drive Ste. D	San Diego	CA	92121
UCSD	9500 Gilman Drive Dept 0089	San Diego	CA	92093
US General Services Administration	405 Tecate Road	Tecate	CA	91980
West Coast Pet Memorial Services	8995 Crestmar Point	San Diego	CA	92121
West Coast Pet Memorial Services	423 N. Hale Avenue	Escondido	CA	92029

EAST COUNTY CREMATORIUM

CONDITIONAL USE PERMIT

1034 N. MAGNOLIA AVE.
EL CAJON CA 92020



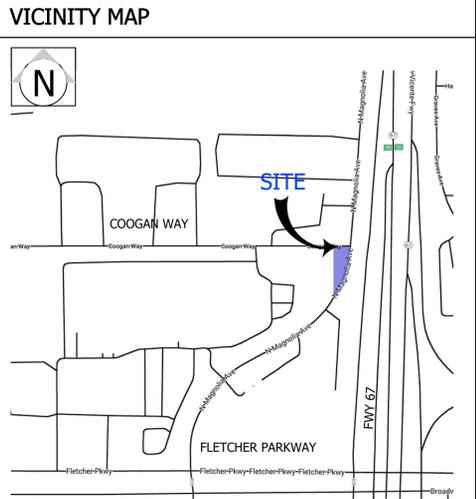
EAST COUNTY CREMATORIUM
 1034 NORTH MAGNOLIA AVENUE
 EL CAJON, CA 92020

SCALE
DRAWN BY JRT/KDG
DATE 3/28/2022

REVISIONS		
1	9/02/2022	RESUBMISSION

SHEET TITLE
TITLE SHEET / PROJECT INFO

SHEET NO.
T1.0



PROJECT DIRECTORY

APPLICANT / OWNER	NAME EAST COUNTY MORTUARY INC / ROBERT ZAKAR ADDRESS 1034 N. MAGNOLIA AVE. EL CAJON CA 92020 EMAIL ROBERTZAKAR@YAHOO.COM PHONE 619.654.7532
CONSULTANT	KANA DEVELOPMENT GROUP CONTACT MICHAEL AGUILAR ADDRESS 12620 MAGNOLIA AVENUE, RIVERSIDE, CA 92503 EMAIL MAGUILAR@KANADG.COM PHONE 714-986-1400 ext. 821
DESIGNER	12X16 DESIGN WORKSHOP CONTACT JONATHAN RAMIREZ-TORRERO ADDRESS 4211 GAMMA ST. SAN DIEGO CA 92113 EMAIL JONATHAN@12X16DESIGN.COM PHONE 619.940.0355
LANDSCAPE DESIGNER	LANDSCAPE LOGIC CONTACT TONY VITALE ADDRESS 4455 MORENA BLVD. #110 SAN DIEGO CA 92109 EMAIL TONY@MYLANDSCAPELOGIC.COM PHONE 619.446.6482

ABBREVIATIONS	DRAFTING SYMBOLS
AB ANCHOR BOLT ACUS ACOUSTICAL AC AIR CONDITIONING ADA AMERICAN DISABILITY ACT ADJ ADJUSTABLE AFF ABOVE FINISH FLOOR AGGR AGGREGATE ALUM ALUMINUM APPROX APPROXIMATE ARCH ARCHITECTURAL ASPH ASPHALT BD BOARD BIT BETWEEN BLK BLOCK BLK BLOCKING BM BEAM BN BOUNDARY NAILING BOF BOTTOM OF FOOTING BP BUILDING PAPER BRG BEARING BUR BUILT-UP ROOFING CAB CABINET CB CATCH BASIN CDK CHALKBOARD CEN CEMENT CBR CERAMIC CFR COUNTER FLASHING CHL CHAIN LINK CIP CAST-IN-PLACE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT CNTR COUNTER CO CLEANOUT COL COLUMN COMP COMPRESSIBLE CONC CONCRETE CONCT CONSTRUCTION CONT CONTINUOUS COR CORNER CORR CORRUGATOR CPT CARPET CTR CENTER CTSK COUNTERSINK CW COLD WATER D DEWASH DTR DRYER DA DOUBLE ACTING DBL DOUBLE DEPT DEPARTMENT DET DETAIL DET OF DOUGLAS FIR DH DOUBLE HUNG DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DISP DISPENSER DN DOWN DR DOOR DS DOWNPOUT DWS DRAINWASHER DWR DRAWER ED EXISTING EA EACH EAG EXHAUST AIR GRILL EJ EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATION ENAM ENAMEL ENC ENCLOSURE EQ EQUAL EQUIP EQUIPMENT EW EACH WAY EWC ELECTRIC WATER COOLER EWWM ELECTRICALLY WELDED EXH EXHAUST EXP EXPANSION EXT EXTERIOR FAU FORCED AIR UNIT FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FFT FINISH FLOOR TRANSITION FG FINISH GRADE FGL FIBERGLASS FH FIRE HOSE FHC FIRE HOSE CABINET FHX FED FFT FEATURE FL FLOWLINE FLR FLOOR FLR FLOORSCENT FN FINISH NAIL FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FR FIREPLACE FS FINISH SURFACE FT FOOT/FEET FTG FOOTING FUB FLOOR UTILITY BOX FURB FURRING FW FLAT WALL GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GFI GROUND FAULT CIRCUIT INTERRUPT GI GALVANIZED IRON GL GLASS GR GRADE GYP GYPSUM HB HOSE BIB HC HOLLOW CORE HERS HEADER HWND HARDWOOD HWNR HARDWARE HGT HEIGHT HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HTG HEATING HTR HEATER HVAC HEATING, VENTILATING AND AIR CONDITIONING HW HOT WATER ID INSIDE DIAMETER IE INSET ELEVATION IN INCH INCN INCON INCL INCLUDING INSUL INSULATION INT INTERIOR JAN JANITOR JST JOIST JT JOINT LAC LACQUER LAM LAMINATE LAWY LAWYER LND LINDLEUM LWF LOW POINT LVR LIVER LTC LIGHTING MACH MACHINE MCS MASONRY MAT MATERIAL MCM MASONRY MB MACHINE BOLTS MC MEDICINE CABINET MECH MECHANICAL MEMB MEMBRANE MFR MANUFACTURER MH MANHOLE MIR MIRROR MISG MISCELLANEOUS MO MASONRY OPENING MOV MOVABLE MT METAL MTL METAL NEW NEW NAT NATURAL NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE OBS OBSOLETE OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHANG OHD OVERHEAD DOOR OHG OVERHEAD GRILLE OPNG OPENING OPP OPPOSITE PA PLANTING AREA PC PRECAST PD WD PRESSED WOOD PPP PLASTIC FINISH PANEL PL PLASTIC PLAS PLASTER PLUM PLUMBER PLYWD PLYWOOD PNLG PANELING POC POCKET POL POLISHED PR PAIR PROP PROPERTY PT PRESURE TREATED PTD PAINTED PTN PARTITION PVC POLYVINYL CHLORIDE QT QUARRY TILE QTY QUANTITY R RISER RAD RADIUS RAC RETURN AIR GRILLE RCP REINFORCED CONCRETE PIPE RD ROOF DRAIN REF REFERENCE REG REGISTER REIN REINFORCING REQ REQUIRED RESN RESIN RH ROUND HEAD WOOD SCREW RM ROOM RMV REMOVED RO ROUGH OPENING ROS ROUGH SAWN RS RESAWN RESL RESILIENT RUB RUBBER RW RIGHT-OF-WAY RWD REDWOOD SAP SHELF & POLE SAR SUPPLY AIR REGISTER SB SETBACK SC SOLID CORE SCHD SCHEDULE SCHN SCHEDULE SCIP SCUPPER SECT SECTION SH SHELF SHR SHOWER SHT SHEET SMT SMOOTH SM SHEET METAL SNDRT SMOKE DETECTOR SPEC SPECIFICATION SQL SQUALE STL STEEL SSTL STAINLESS STEEL SSE SERVICE SINK STA STATION STD STANDARD STL STEEL STRK STORAGE STRUC STRUCTURAL SUSP SUSPENDED SYN SYMMETRICAL T TREAD T&B TOP & BOTTOM T&G TONGUE AND GROOVE T/S TUB & SHOWER TB TONEL BAK TBD TACKBOARD TC TOP OF CURB TDB TRENCH DRAIN TEL TELEPHONE TERR TERRACE TEXT TEXTURE THERMO THERMOSTAT THK THICK THRESH THRESHOLD TN TIE NAIL TOE TOE OF TOP TOP OF TOP OF FOOTING TOP OF MASONRY TOP OF ROOF TOP OF SIDEWALK TOP OF WALL TRT TREATED TS TOP OF SLAB TYP TYPICAL UC UPPER CABINET UNLESS OTHERWISE NOTED UNDER OTHER SECTION URINAL VAR VARNISH VBR VAPOR BARRIER VCT VINYL COMPOSITION TILE VEST VESTIBULE VF VENT IN FIELD VP VENEER PLASTER VTR VENT THROUGH ROOF VW VINYL WALL COVERING W WASHER WJ WITH WID WITHOUT WC WATER CLOSET WOD WOOD WOW WINDOW WF WIDE FLANGE WGL WIRE GLASS WH WATER HEATER WHB WIRE BRASS WPR WATERPROOF WPI WEAPONED PLANE JOINT WSCOT WAINSCOT WT WEIGHT WUB WALL UTILITY BOX WWF WELDED WIRE FABRIC AND ANGLE < INCH - FOOT @ AT [CHANNEL NUMBER Ø DIAMETER	COLUMN GRID ELEVATION SECTION DETAIL ROOM TAG WINDOW TAG DOOR TAG REVISION TAG KEYNOTE SINGLE STEP INTERIOR ELEVATIONS

PROJECT DATA

PROJECT ADDRESS 1034 N. MAGNOLIA AVE. EL CAJON CA 92020
APN 483-071-29-00
YEAR BUILT 1975
LEGAL DESCRIPTION MAP 1674 - MAGNOLIA RANCH TRACT / LOT 13
OCCUPANCY GROUP A: CREMATORIUM WITNESS ROOM
 B: ALL OTHER ROOMS
CONSTRUCTION TYPE TYPE III A
NO. STORIES EXISTING 2
LOT SIZE 15,258 SF
EXISTING BUILDING AREA
 FIRST FLOOR 2,186 SF
 SECOND FLOOR 2,144 SF
TOTAL AREA EXISTING = 4,330 SF
PROPOSED BUILDING AREA
 FIRST FLOOR 2,186 SF
 CREMATORIUM REMODEL 625 SF
 PREPARATION ROOM/
 HALLWAY/COOLER/
 STORAGE ADDITION 515 SF
 SECOND FLOOR
 CARETAKER QUARTER'S 1,215 SF [830 SF OF (E) AREA REDUCTION]
 2-CAR GARAGE ADDITION 666 SF
TOTAL AREA OF REMODEL = 3,401 SF
TOTAL AREA OF ADDITION = 1,806 SF
PROPOSED GROSS FLOOR AREA = 5,207 SF

CONDITIONAL USE PERMIT NARRATIVE

THE PROJECT PROPOSES TO ESTABLISH A CREMATORIUM AT AN EXISTING TWO-STORY OFFICE BUILDING WITH A TOTAL GROSS AREA OF 4,664 SQUARE FEET. THE SUBJECT PROPERTY IS LOCATED EAST OF NORTH JOHNSON AVENUE, IN BETWEEN VERNON WAY AND FLETCHER PARKWAY. THE APPLICANT SEEKS TO PROVIDE CREMATION SERVICES AT THE SUBJECT FACILITY, WHICH WILL INCLUDE OFFICE SPACES, MEETING ROOMS, RECEPTION AREAS AND A GATHERING SPACE FOR CREMATION WITNESSING.

THE SCOPE OF WORK PROPOSES A COMPLETE INTERIOR REMODEL OF THE EXISTING FIRST AND SECOND FLOOR LEVEL. ADDITIONAL BUILDING AREA AT GROUND LEVEL IS PROPOSED FOR THE NORTH/EAST PART OF THE BUILDING, WITH A PROPOSED STEEL DECK STRUCTURE CONNECTING TO THE SOUTH PART OF THE BUILDING. THE PROJECT PROPOSES A PARKING RECONFIGURATION AND THE PROPOSAL OF LANDSCAPING ALONG THE EXTERIOR SIDE SETBACKS OF THE PROPERTY.

ZONING

ZONE C-R (REGIONAL COMMERCIAL)
SETBACKS EXT. YARD 10 FT.
MAX HEIGHT 35 FT.

SHEET INDEX

T1.0	TITLE SHEET / PROJECT INFO
AS1.0	EXISTING & PROPOSED SITE PLAN
A1.0	EXISTING & PROPOSED FIRST FLOOR PLAN
A1.1	EXISTING & PROPOSED SECOND FLOOR PLAN
A2.0	PROPOSED BUILDING ELEVATIONS
A2.1	PROPOSED BUILDING ELEVATIONS
C1.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C1.1	PRELIMINARY BMP PLAN
L1.0	LANDSCAPE PLANTING PLAN
L2.0	LANDSCAPE IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
LP1.0	CONCEPTUAL LIGHTING PLAN
FS1.0	CONCEPTUAL FIRE SPRINKLER PLAN

EAST COUNTY CREMATORIUM

HOURS OF OPERATION

MON. THRU FRIDAY FROM 9 AM TO 5 PM.

PARKING REQUIREMENTS

PER EL CAJON MUNICIPAL CODE, TABLE:17.185.190

USE	SF	SPACES
CARETAKER UNIT - SECOND FLOOR	1215 SF =	2 SPACES
WITNESS CREMATION ROOM - FIRST FLOOR	1164 SF/200 =	5.82 SPACES
LOBBY/OFFICE - FIRST FLOOR	576 SF/250 =	2.3 SPACES

TOTAL CALCULATED = 10.12
AVAILABLE SPACES = 11 > 10.12 COMPLIANT

ROOFTOP MECH. EQUIPMENT

- ROOFTOP MECHANICAL EQUIPMENT INSTALLED ON BUILDINGS AND STRUCTURES SHALL BE SCREENED FROM PUBLIC VIEW BY A PARAPET WALL OR DECORATIVE EQUIPMENT SCREEN THAT SHALL COMPLEMENT THE OVERALL ARCHITECTURAL THEME OF THE BUILDING.

ON-SITE LIGHTING

- ALL DEVELOPMENTS SHALL PROVIDE ADEQUATE LIGHTING FOR PEDESTRIAN AND VEHICULAR SAFETY AND BE SUFFICIENT TO MINIMIZE SECURITY PROBLEMS. HOWEVER, IN NO CASE SHALL LIGHTING ON ONE PROPERTY CREATE A NUISANCE ON ANY OTHER PROPERTY. AN ON-SITE LIGHTING PLAN FOR ALL PARKING AREAS, PEDESTRIAN WALKWAYS AND COMMON OPEN SPACE/RECREATION AREAS SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR ALL PROJECTS.

AREA SUMMARY TABLE

GROSS PARCEL AREA		15,258 SF
2-FOOT RIGHT-OF-WAY DEDICATION		408 SF
NET PARCEL AREA		14,850 SF
DESCRIPTION	EXISTING CONDITION AREA	PROPOSED CONDITION AREA
BUILDING	2,735 SF	4,936 SF
ASPHALT	4,859 SF	3,491 SF
CONCRETE	5,148 SF	2,237 SF
LANDSCAPE	2,108 SF	4,186 SF
TOTAL	14,850 SF	14,850 SF
TOTAL IMPERVIOUS	12,742 SF	10,664 SF
TOTAL PERVIOUS	2,108 SF	4,186 SF

SITE PLAN NOTES

- SEE PRELIMINARY GRADING AND DRAINAGE PLAN FOR GRADING AND DRAINAGE INFORMATION.
- STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS SHALL BE ROUTED TO LANDSCAPE AREAS PRIOR TO DISCHARGE FROM THE SITE.

SCALE
DRAWN BY JRT/KDG
DATE 3/28/2022

REVISIONS

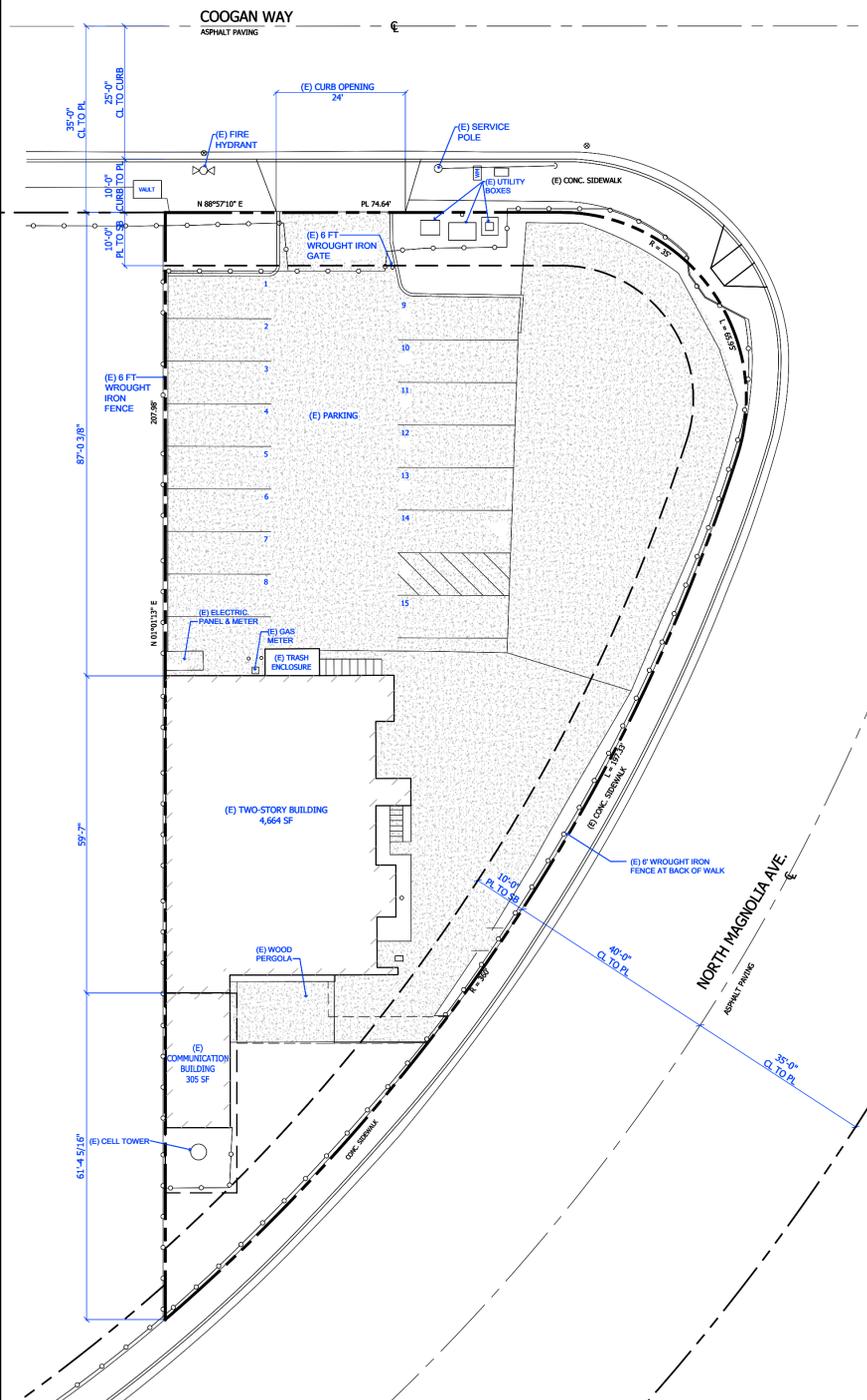
NO.	DATE	DESCRIPTION
1	9/02/2022	RESUBMISSION

SHEET TITLE

EXISTING & PROPOSED SITE PLAN

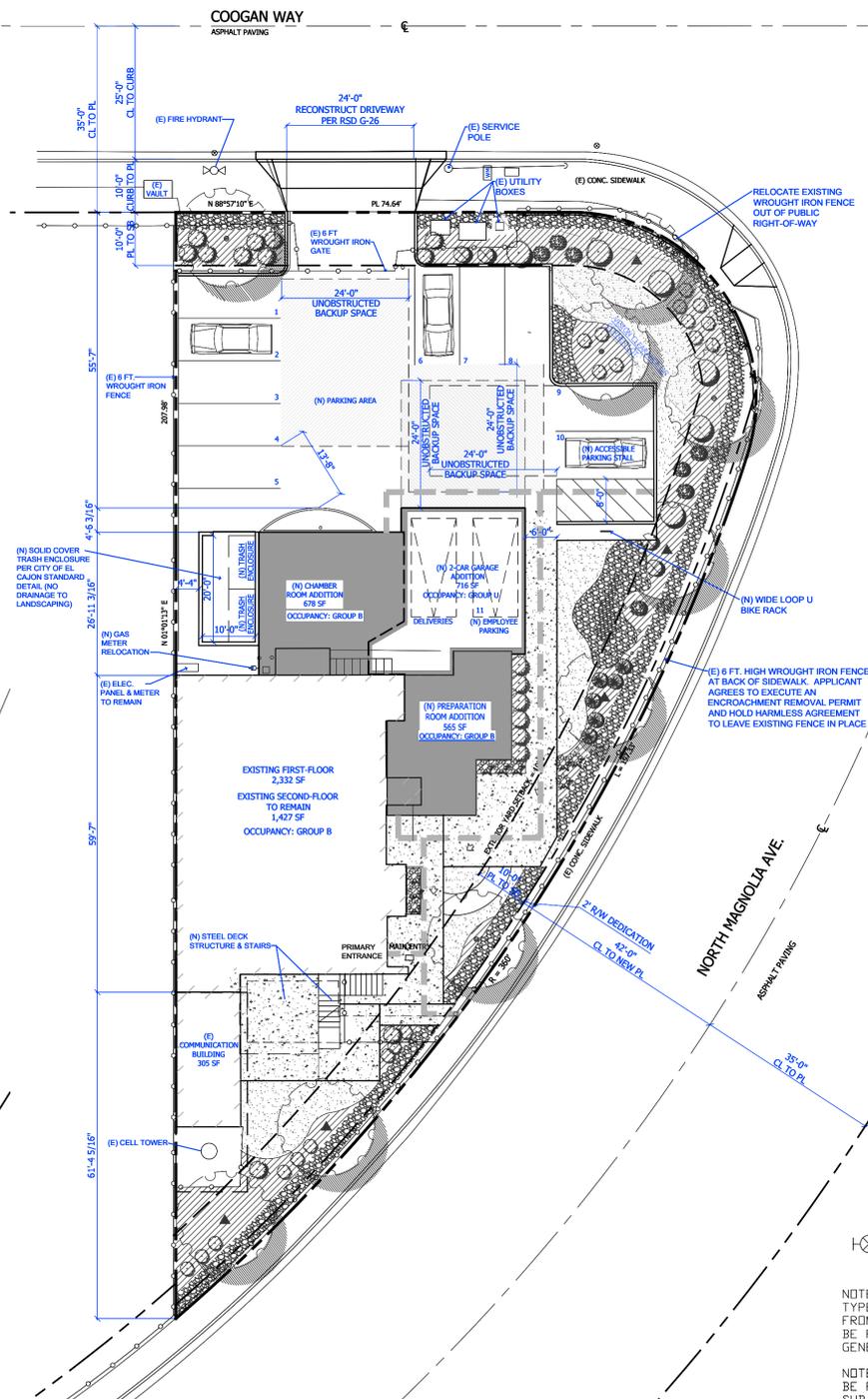
SHEET NO.

AS1.0



EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED

NOTE: EXIT SIGNS SHALL BE SELF-LUMINATED TYPE OR ELECTRICALLY ILLUMINATED & ENERGIZED FROM SEPARATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON-SITE GENERATOR.

NOTE: ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTION

SITE PLAN LEGEND

PROPERTY LINE	---
SETBACK LINE	----
AREA OF ADDITION (CONDITIONED SPACE)	▒
AREA OF GARAGE ADDITION	▒
AREA OF PROPOSED LANDSCAPING	▒
ADA PATH OF TRAVEL	▒
EXISTING FIRE HYDRANT	⊗
EXISTING WROUGHT IRON FENCE	○

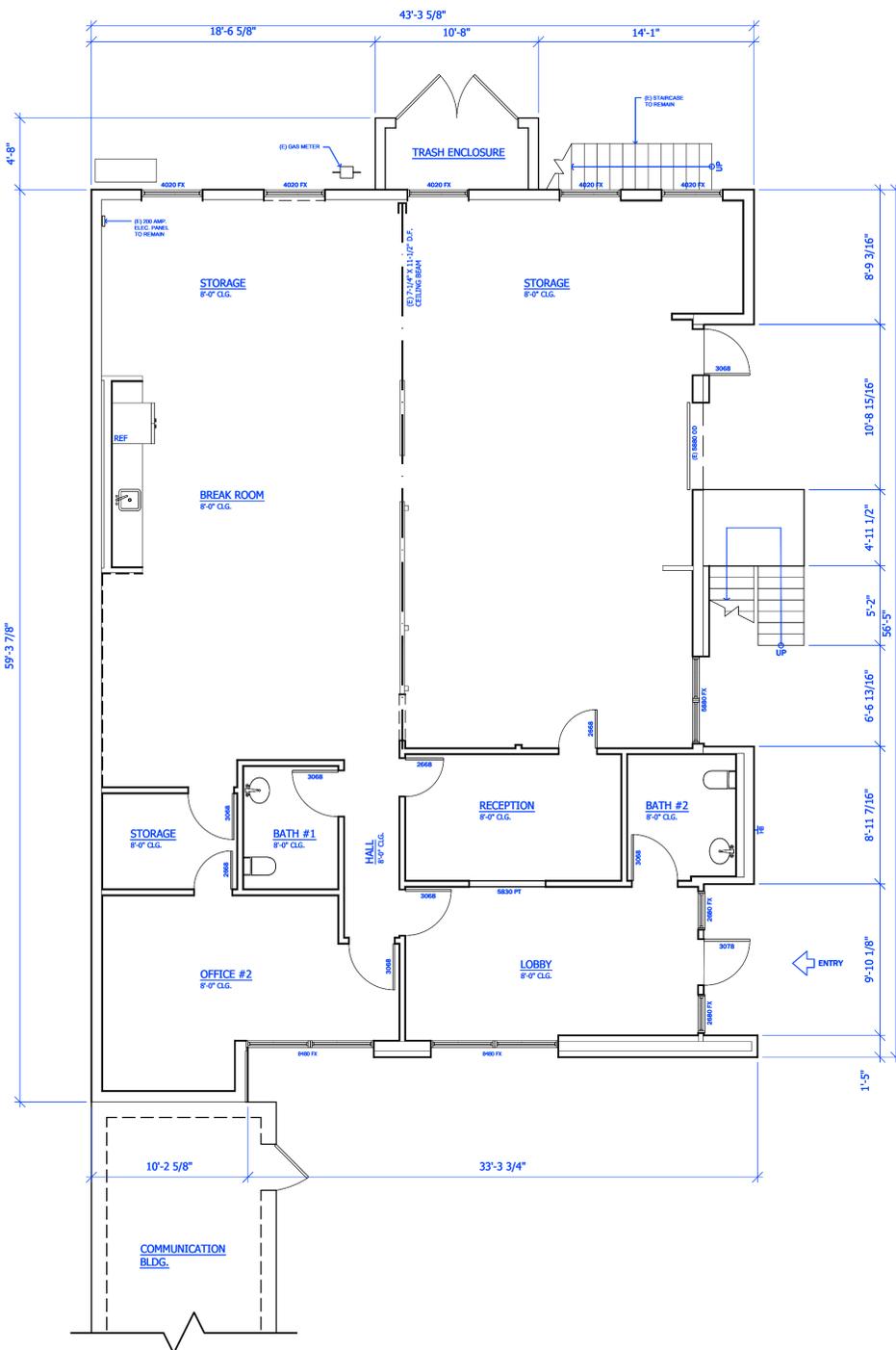
FACTORY-BUILT COMMERCIAL CREMATORIES NOTES

- FACTORY-BUILT COMMERCIAL CREMATORIES SHALL COMPLY WITH UL 2790 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [2019 CBC §925.2]
- EQUIPMENT SELECTED
 - MANUF: CREMATION & INCINERATION EQUIPMENT
MODEL: FT III CREMATORS

ROOM OCCUPANCY PER 2019 CBC §1004.5

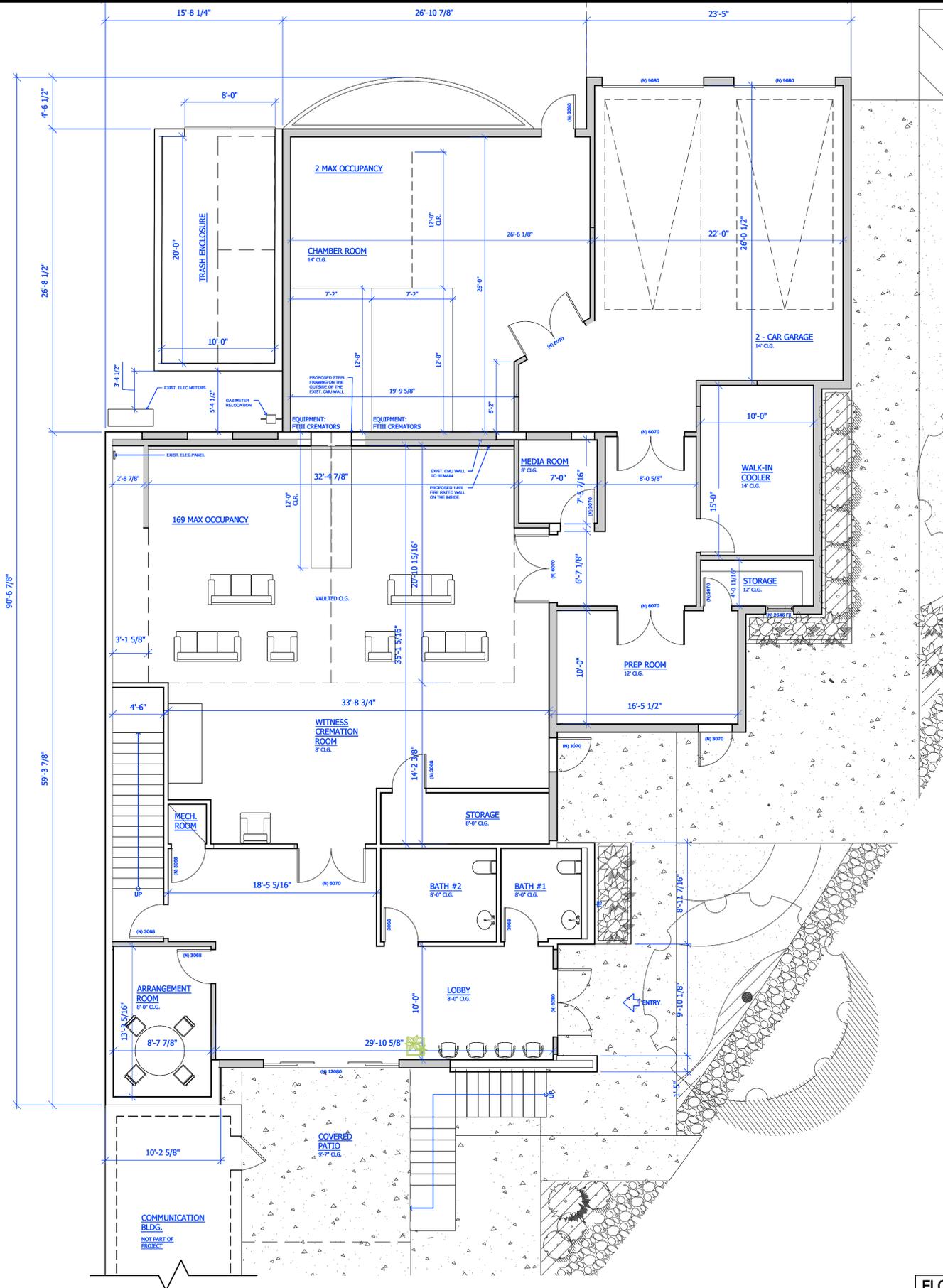
FUNCTION OF SPACE

- CHAMBER ROOM (MECH. EQUIP. ROOM) 625 SF / 300 GROSS (OCCUPANT LOAD FACTOR) = 2.1
2 MAX OCCUPANCY
- WITNESS CREMATION ROOM 1,184 SF / 7 (OCCUPANT LOAD FACTOR) = 169.1
169 MAX OCCUPANCY



EXISTING FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL
- STRUCTURE ABOVE

SCALE

DRAWN BY JRT/KDG

DATE 3/28/2022

REVISIONS

1	9/02/2022	RESUBMISSION

SHEET TITLE
EXISTING & PROPOSED FIRST FLOOR PLAN

SHEET NO.
A1.0



Kana Development Group



12X16
DESIGN WORKSHOP

EAST COUNTY CREMATORIUM
1034 NORTH MAGNOLIA AVENUE
EL CAJON, CA 92020

SCALE

DRAWN BY JRT/KDG

DATE 3/28/2022

REVISIONS

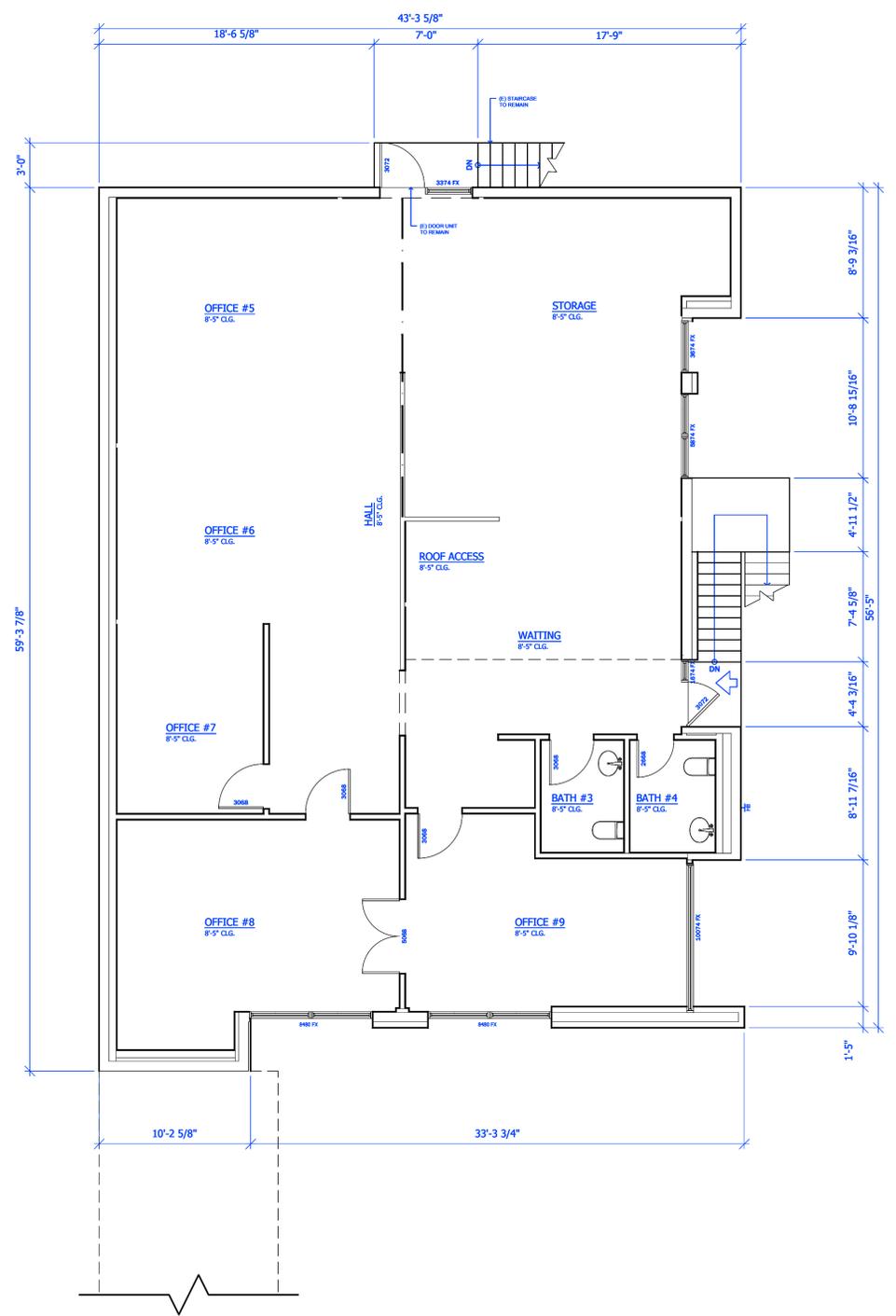
1	9/02/2022	RESUBMISSION

SHEET TITLE

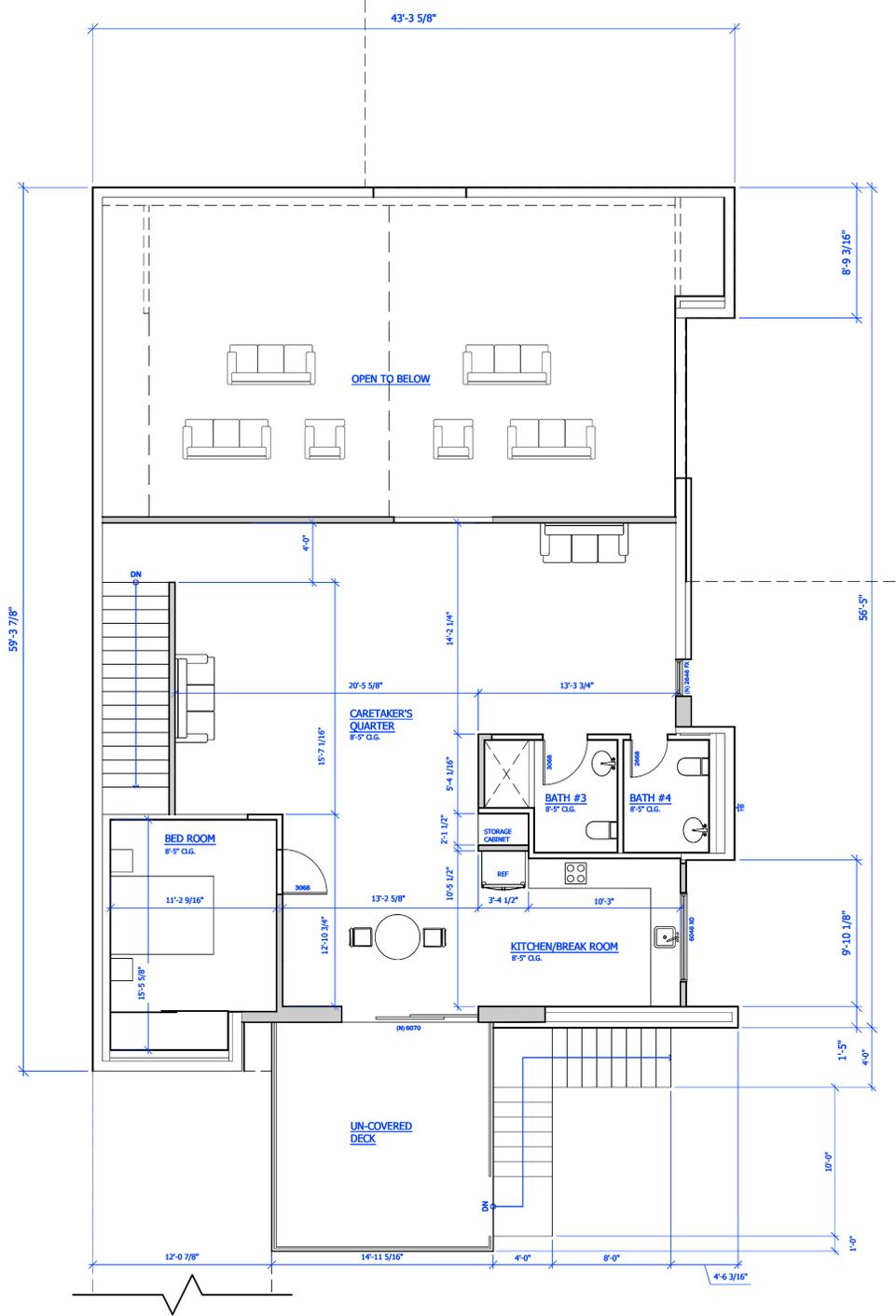
EXISTING & PROPOSED SECOND FLOOR PLAN

SHEET NO.

A1.1



EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

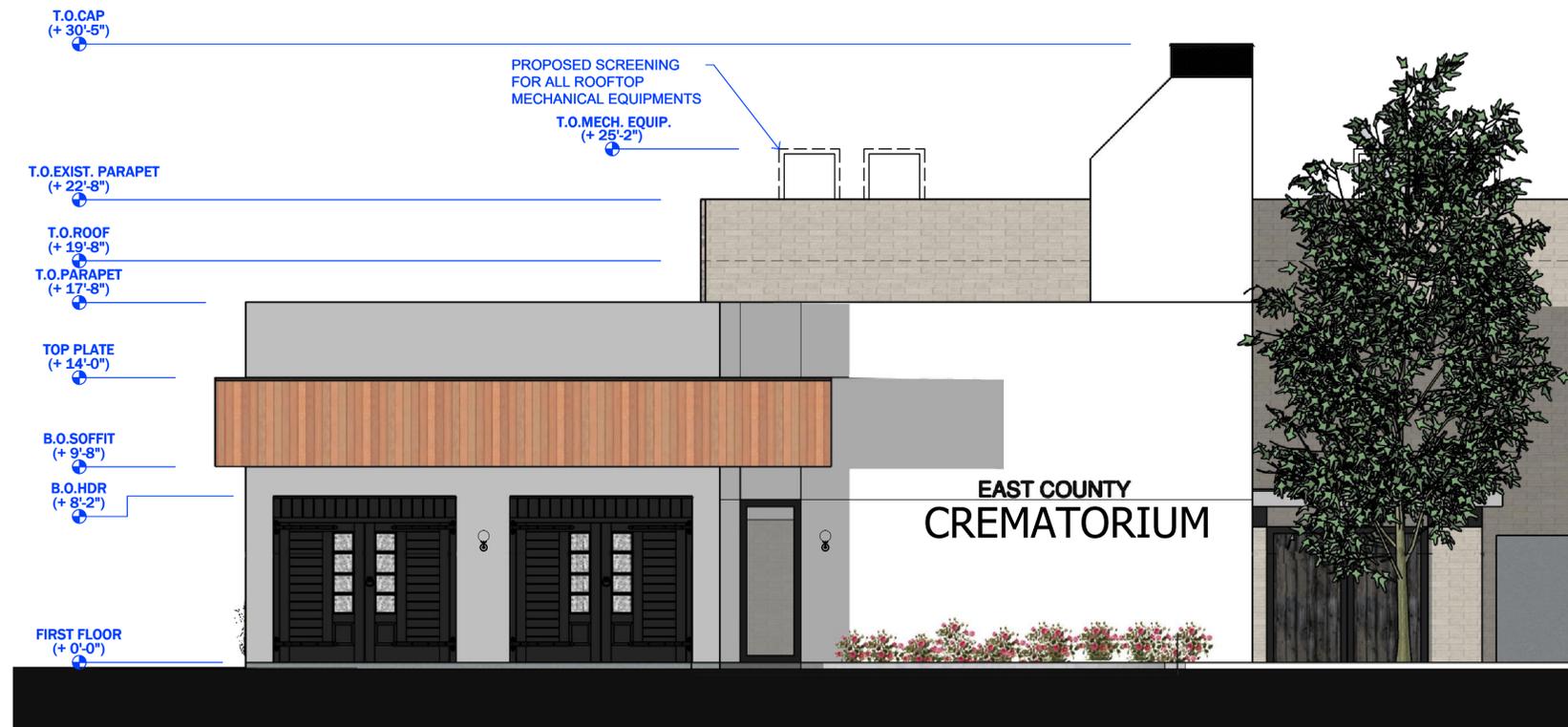


PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

EXISTING WALL	
NEW WALL	
STRUCTURE ABOVE	



**EAST COUNTY
CREMATORIUM**

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ROOFTOP MECH. EQUIPMENT

1. ROOFTOP MECHANICAL EQUIPMENT INSTALLED ON BUILDINGS AND STRUCTURES SHALL BE SCREENED FROM PUBLIC VIEW BY A PARAPET WALL OR DECORATIVE EQUIPMENT SCREEN THAT SHALL COMPLEMENT THE OVERALL ARCHITECTURAL THEME OF THE BUILDING.

ON-SITE LIGHTING

1. ALL DEVELOPMENTS SHALL PROVIDE ADEQUATE LIGHTING FOR PEDESTRIAN AND VEHICULAR SAFETY AND BE SUFFICIENT TO MINIMIZE SECURITY PROBLEMS. HOWEVER, IN NO CASE SHALL LIGHTING ON ONE PROPERTY CREATE A NUISANCE ON ANY OTHER PROPERTY. AN ON-SITE LIGHTING PLAN FOR ALL PARKING AREAS, PEDESTRIAN WALKWAYS AND COMMON OPEN SPACE/RECREATION AREAS SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR ALL PROJECTS.



EAST ELEVATION
SCALE: 1/4" = 1'-0"

SCALE

DRAWN BY JRT/KDG

DATE 9/08/2022

REVISIONS

SHEET TITLE

**PROPOSED
BUILDING
ELEVATIONS**

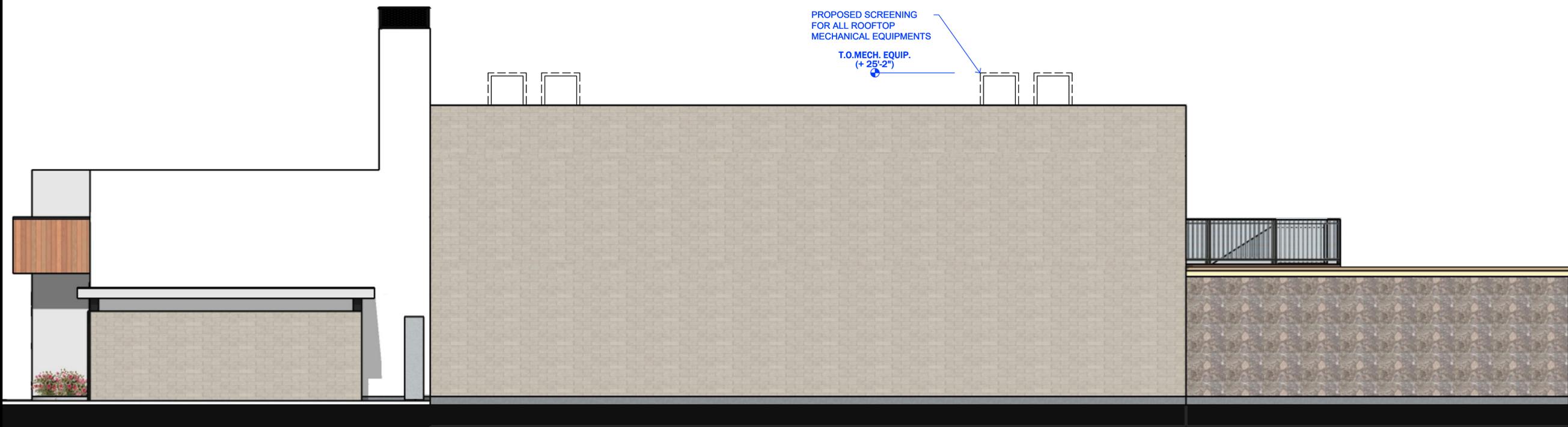
SHEET NO.

A2.0



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

ROOFTOP MECH. EQUIPMENT

1. ROOFTOP MECHANICAL EQUIPMENT INSTALLED ON BUILDINGS AND STRUCTURES SHALL BE SCREENED FROM PUBLIC VIEW BY A PARAPET WALL OR DECORATIVE EQUIPMENT SCREEN THAT SHALL COMPLEMENT THE OVERALL ARCHITECTURAL THEME OF THE BUILDING.

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SCALE

DRAWN BY JRT/KDG

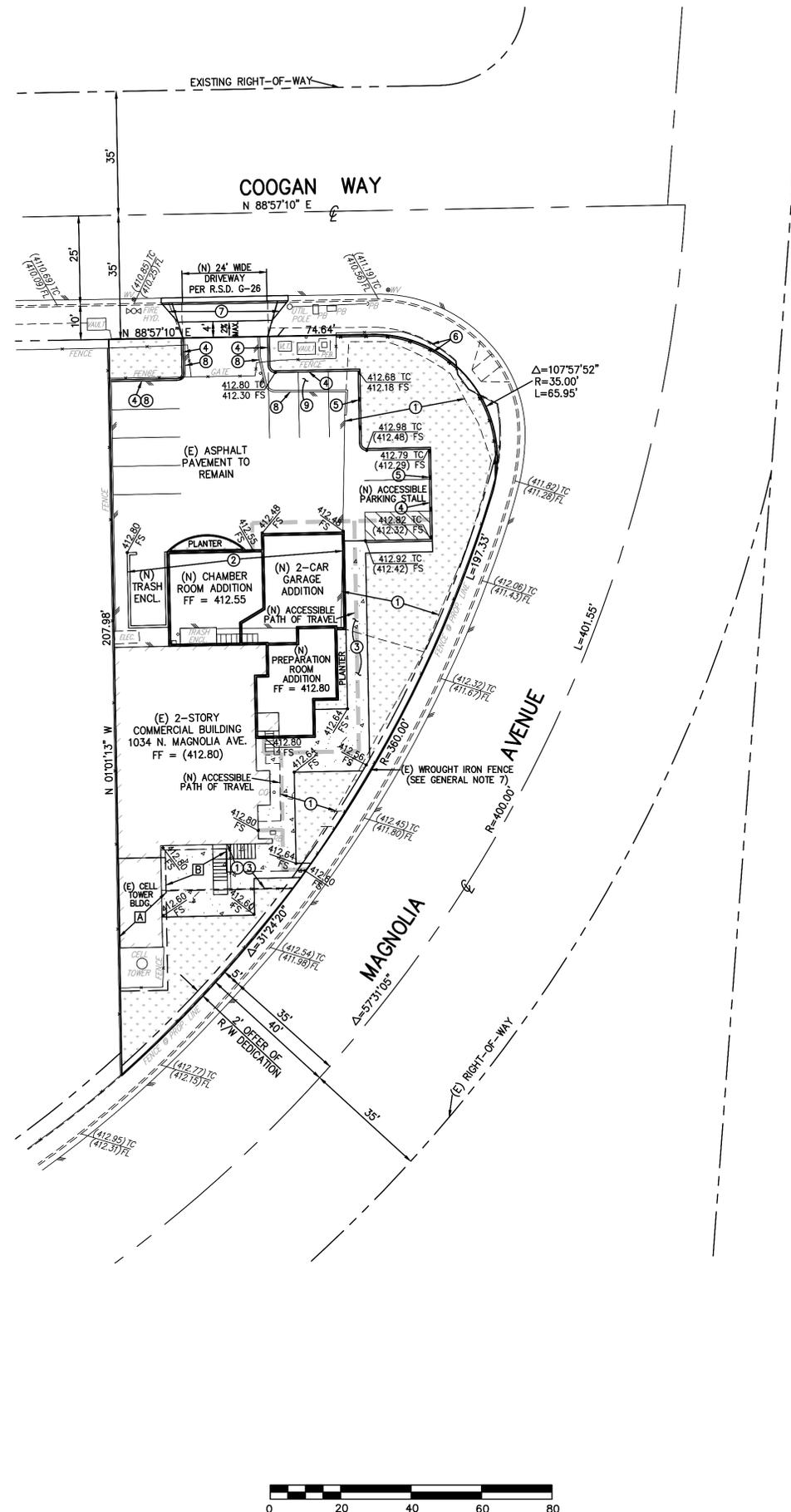
DATE 9/08/2022

REVISIONS

NO.	DESCRIPTION

SHEET TITLE
PROPOSED BUILDING ELEVATIONS

SHEET NO.
A2.1



- KEY NOTES**
- 1 REMOVE CONCRETE PAVING
 - 2 REMOVE ASPHALT PAVING
 - 3 CONSTRUCT CONCRETE PAVING
 - 4 CONSTRUCT 6" CURB
 - 5 PROVIDE 12" WIDE CURB OPENING AT 8 FT. SPACING (4 LOCATIONS)
 - 6 RELOCATE EXISTING WROUGHT IRON FENCE OUT OF PUBLIC RIGHT-OF-WAY
 - 7 RECONSTRUCT DRIVEWAY PER R.S.D. G-26
 - 8 REMOVE EXISTING ASPHALT BERM
 - 9 CONSTRUCT ASPHALT PAVING

LEGAL DESCRIPTION
 REAL PROPERTY IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 THAT PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 1674, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 29, 1915, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHERLY 35.00 FEET OF SAID LOT 13; THENCE ALONG THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET OF SAID LOT 13, NORTH 89° 57' 39" EAST, 896.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE PARALLEL WITH THE WESTERLY LINE OF SAID LOT 13, SOUTH 00° 03' 26" EAST, 207.59 FEET TO A POINT ON THE ARC OF A 360.00 FEET RADIUS CURVE, CONCAVE NORTHWESTERLY, A RADIAL LINE OF SAID CURVE BEARS SOUTH 40° 41' 27" EAST TO SAID POINT, BEING ALSO A POINT ON THE NORTHWESTERLY BOUNDARY OF THAT PORTION OF SAID LOT 13 AS CONVEYED TO THE CITY OF EL CAJON, FOR PUBLIC STREET PURPOSES, RECORDED SEPTEMBER 8, 1969 AS INSTRUMENT NO. 1969-164767 OFFICIAL RECORDS; THENCE ALONG THE BOUNDARY OF SAID DEED AS FOLLOWS: SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE BEGINNING OF A COMPOUND 35.00 FEET RADIUS CURVE, CONCAVE SOUTHWESTERLY, SAID CURVE BEING ALSO TANGENT TO THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET TO SAID LOT 13; THENCE NORTHEASTERLY NORTHERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE POINT OF TANGENCY IN THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET OF SAID LOT 13; THENCE ALONG SAID SOUTHERLY LINE SOUTH 89° 57' 39" WEST TO THE TRUE POINT OF BEGINNING.

A EXCLUSIVE EASEMENT AREA FROM DOC. #2021-0677954
 BEING A PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, AS RECORDED ON MAP 1674 IN THE RECORDS OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE MOST EASTERLY CENTERLINE OFFSET OF COOGAN WAY, AS SHOWN ON RECORD OF SURVEYS MAP NO. 22415 OF THE COUNTY OF SAN DIEGO, FROM WHICH ANOTHER CENTERLINE OFFSET OF SAID COOGAN WAY BEARS SOUTH 89°52'00" WEST, 446.49 FEET; THENCE ALONG THE LINE BETWEEN SAID CENTERLINE OFFSETS SOUTH 89°52'00" WEST, 94.62 FEET; THENCE SOUTH 00°39'20" WEST, 63.21 FEET TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED BY INSTRUMENT NUMBER 1994-0427597 OF THE RECORDS OF SAN DIEGO COUNTY; THENCE CONTINUING SOUTH 00°39'20" WEST, ALONG THE WEST LINE OF SAID PARCEL, 146.65 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°20'40" EAST, 13.50 FEET; THENCE SOUTH 00°39'20" WEST, 37.50 FEET; THENCE NORTH 89°20'40" WEST, 13.50 FEET TO SAID WEST LINE; THENCE CONTINUING ALONG SAID WEST LINE NORTH 00°39'20" EAST, 37.50 FEET TO THE POINT OF BEGINNING, CONTAINING 506 SQUARE FEET (0.012 ACRES) OF LAND, MORE OR LESS.

B ACCESS & UTILITY EASEMENT FROM DOC. #2021-0677954
 BEING A PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, AS RECORDED ON MAP 1674 IN THE RECORDS OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF COOGAN WAY, BEING N 88°57'10" E AS SHOWN ON RECORD OF SURVEY MAP NO. 22415, RECORDS OF SAN DIEGO COUNTY, CA.

BENCHMARK
 CITY OF EL CAJON BENCHMARK 476
 STD. BRASS CAP IN TOP OF CURB, S. P.C.R. AT S.E. CORNER OF GRAVES AVE. & HART DR.
 ELEV. = 414.074 NAVD 88

- GENERAL NOTES**
1. DATE OF PREPARATION: 9/02/2022
 2. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED ON 8/04/2022
 3. GROSS PARCEL AREA: 15,258 SQ. FT. (0.35 AC.)
 4. NET PARCEL AREA: 14,850 SQ. FT. (0.34 AC.)
 5. AREA OF DISTURBANCE: 8,111 SQ. FT.
 6. ASSESSOR PARCEL NUMBER: 483-071-29
 7. APPLICANT AGREES TO RELOCATE EXISTING WROUGHT IRON FENCE IN MAGNOLIA AVENUE OUTSIDE OF 2 FOOT RIGHT-OF-WAY DEDICATION AREA UPON REQUEST FROM THE CITY OR WHEN DEVELOPER TO THE SOUTH RELOCATES SIMILAR FENCE.

KDG
 Kana Development Group

REGISTERED PROFESSIONAL ENGINEER
 MICHAEL C. AGUILAR
 No. 44614
 EXP. 3-31-24
 CIVIL
 STATE OF CALIFORNIA

12X16
 DESIGN WORKSHOP

EAST COUNTY CREMATORIUM
 1034 NORTH MAGNOLIA AVENUE
 EL CAJON, CA 92020

SCALE

DRAWN BY JRT/KDG

DATE 3/28/2022

REVISIONS

1	9/08/2022	RESUBMISSION

SHEET TITLE

PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NO.

C1.0



Kana Development Group



12X16
DESIGN WORKSHOP

EAST COUNTY CREMATORIUM
1034 NORTH MAGNOLIA AVENUE
EL CAJON, CA 92020

SCALE

DRAWN BY JRT/KDG

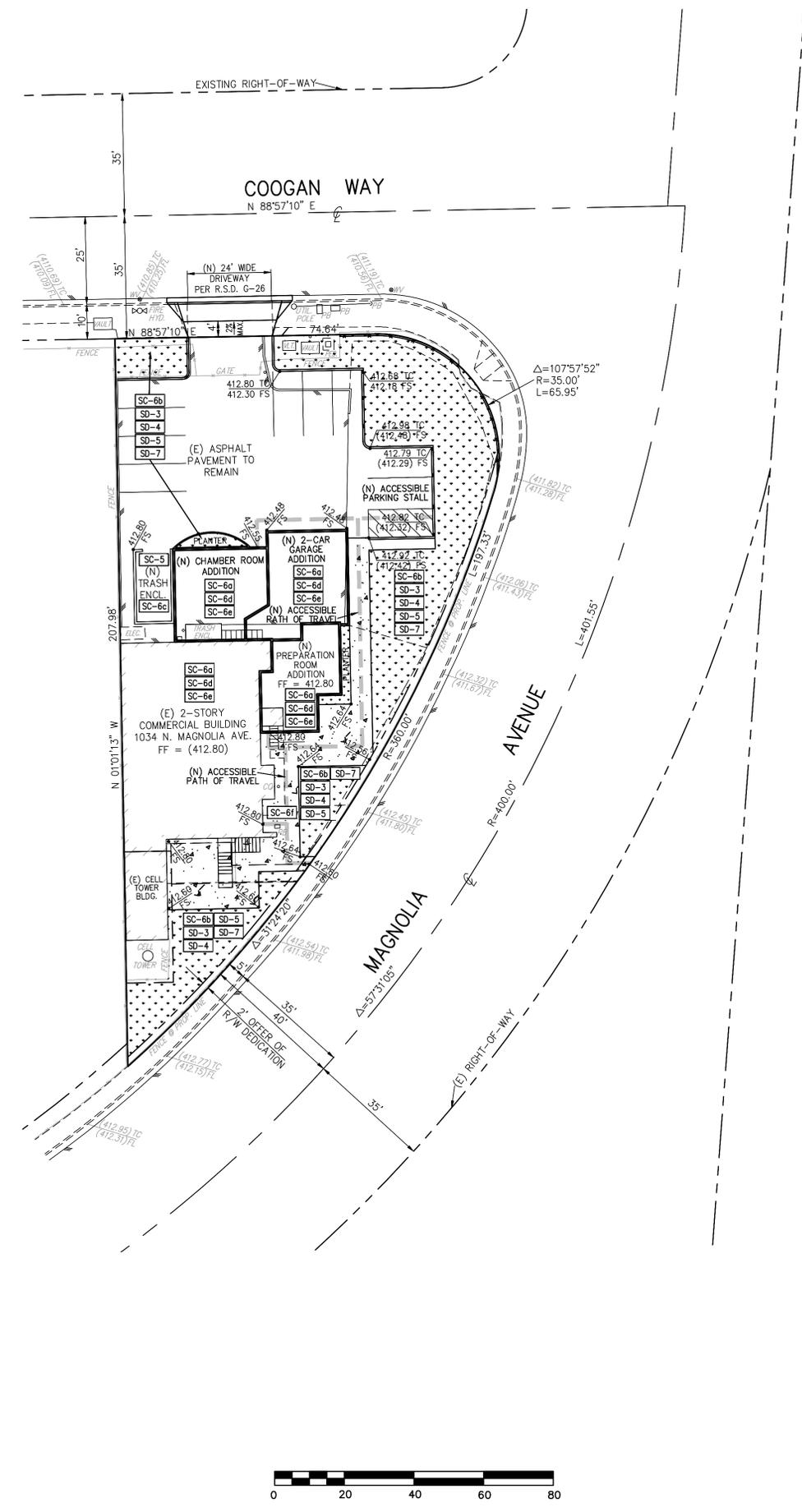
DATE 3/28/2022

REVISIONS

1	9/08/2022	RESUBMISSION

SHEET TITLE
PRELIMINARY
BMP PLAN

SHEET NO.
C1.1



BMP KEY NOTES

- SC-5 PROTECT STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL
- ADDITIONAL BMPs:
- SC-6a NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL
- SC-6b LANDSCAPE/OUTDOOR PESTICIDE USE
- SC-6c REFUSE AREAS
- SC-6d FIRE SPRINKLER TEST WATER
- SC-6e MISCELLANEOUS DRAIN OR TEST WATER
- SC-6f PLAZAS, SIDEWALKS, AND PARKING AREAS
- SD-3 MINIMIZE IMPERVIOUS AREAS
- SD-4 MINIMIZE SOIL COMPACTION
- SD-5 IMPERVIOUS AREA DISPERSAL
- SD-6 RUNOFF COLLECTION
- SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES

AREA SUMMARY TABLE

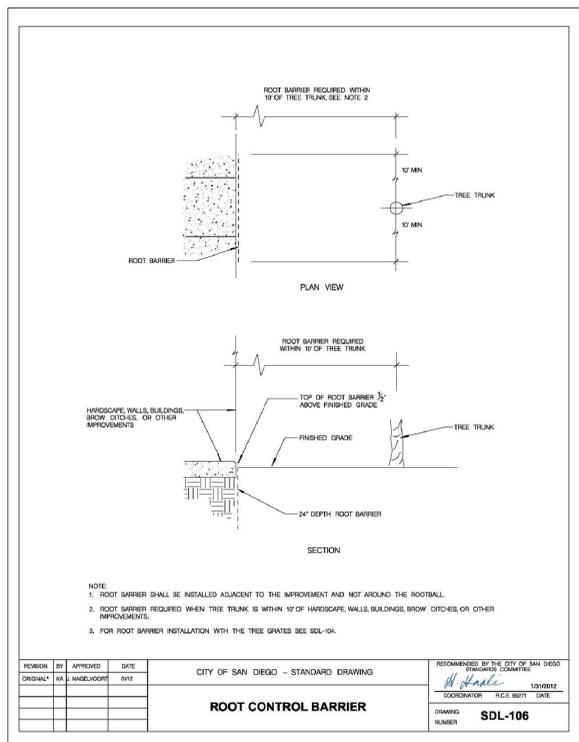
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TOTAL	14,850 SF	14,850 SF
TOTAL IMPERVIOUS	12,742 SF	10,664 SF
TOTAL PERVIOUS	2,108 SF	4,186 SF

GENERAL NOTES:

- LANDSCAPE AREAS PLANTED WITH ONLY TREES AND/OR SHRUBS THAT ARE NOT ALSO PLANTED WITH TURFGRASS OR GROUNDCOVERS SHALL BE MULCHED ON THE SOIL SURFACE TO A MINIMUM DEPTH OF THREE INCHES.
- ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF ESCONDIDO'S LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PRIOR TO AMENDING, SOIL WILL BE TESTED FOR PH BALANCE, AMENDMENTS WILL BE APPLIED IF NECESSARY.
- PRIOR TO AMENDING, THE SURFACE SOIL IN AREAS TO BE LANDSCAPED SHOULD BE RIPPED OR TILLED TO ALLEVIATE COMPACTION, PREFERABLY TO A 9 INCH DEPTH.
- ALL REQUIRED LANDSCAPE MAINTENANCE AREAS SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.
- PROVIDE ON-SITE DRAINAGE SYSTEM TO COLLECT AND ROUTE SURFACE AND ROOF RUNOFF TO AN APPROVED OUTLET.
- FINAL GRADING SHALL PROVIDE A MINIMUM 2% SLOPE IN ALL LANDSCAPE AREAS AWAY FROM STRUCTURES, ADJACENT PROPERTIES AND COMMON AREAS.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.041(H), AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

MINIMUM TREE SEPERATION DISTANCE:

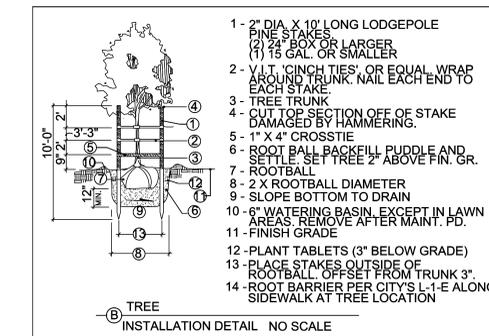
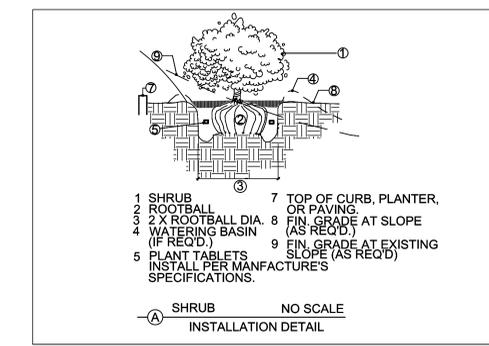
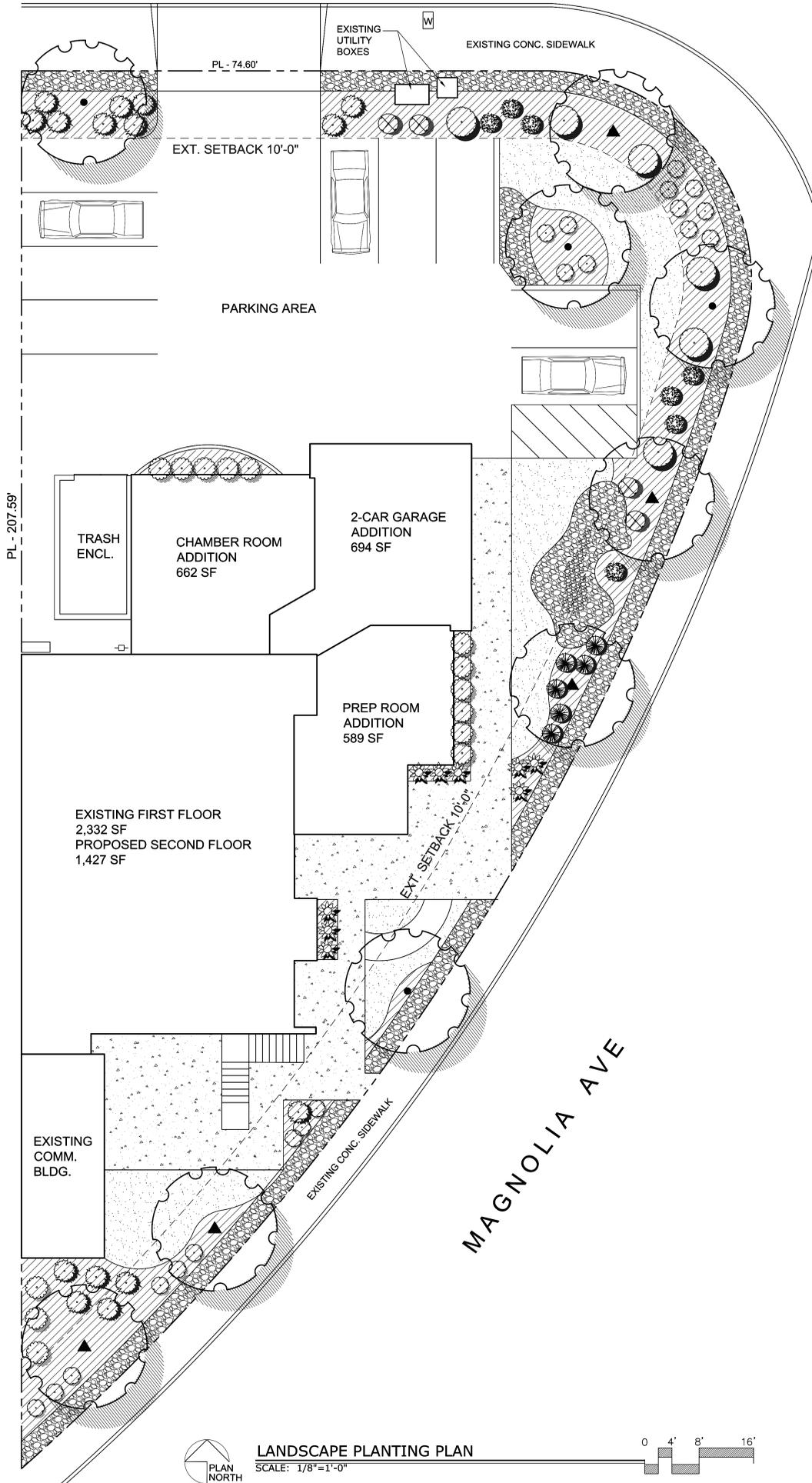
- TRAFFIC SIGNAL, STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
- ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION CONTAINED IN THE CITY OF EL CAJON LANDSCAPE ORDINANCE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE THE EFFICIENT USE OF WATER.

TONY VITALE C.L. #942177 6/2/2022 DATE

COOGAN WAY



KEY LEGEND

	BROOMED CONCRETE - 3000 PSI., 4" THICK, REBAR @24" O.C. (1,426 SQ.FT.)
	ARTIFICIAL TURF - GLOBAL SYNTURF, SUPERNATURAL 60 W/HYBRID SAND (1,076 SQ.FT.)
	MULCHED AREA - ORGANIC SHREDDED MULCH, 3" THICK (1,716 SQ.FT.)
	RIVER ROCK - ARIZONA RIVER ROCK, 3"-4" DIAMETER W/WEED CLOTH BELOW (1,152 SQ.FT.)

PLANT LEGEND

SYM.	COMMON NAME	BOTANICAL NAME	QTY.	WUCOLS
	ROCK PURSLANE	CALANDRINIA GRANDIFLORA	20	LOW
	NEW ZEALAND FLAX 'AMAZING RED'	PHORMIUM TENAX	9	LOW
	MEXICAN BUSH SAGE	SALVIA LEUCANTHA	15	LOW
	FOXTAIL AGAVE	AGAVE ATTENUATA	7	LOW
	CORAL ALOE	ALOE STRIATA	4	LOW
	PINK ROCKROSE	CISTUS PURPUREUS	14	LOW
	DWF. BOTTLEBRUSH SHRUB	CALLISTEMON 'LITTLE JOHN'	6	LOW
	COAST ROSEMARY	WESTRINGEA FRUTICOSA	6	LOW

TREES

COMMON NAME	BOTANICAL NAME	QTY.	WUCOLS
AUSTRALIAN WILLOW 24" BOX	GEIJERA PARVIFLORA	5	LOW
GRAPE MYRTLE TREE 24" BOX (FOR LMD)	LAGERSTROEMIA INDICA FAURIEI TUSKEGEE	5	MEDIUM

LIC# 942177
LANDSCAPE LOGIC
TONY VITALE
www.MyLandscapeLogic.com PH: 619.446.6482
4455 MORENA BLVD. #110
SAN DIEGO, CA 92109

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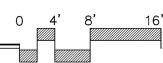
LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM
1034 MAGNOLIA AVE
EL CAJON, CA 92020
APN: 483-071-29-00

02 JUNE 2022

L1.0
OF 3 SHEETS



LANDSCAPE PLANTING PLAN
SCALE: 1/8"=1'-0"



IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER AS NOTED.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- ALL HEADS INDICATED ON THE PLANS AT A SPACING LESS THAN 75% OF FULL OPEN THROW, AS PER MANUFACTURER'S RECOMMENDATIONS, ARE TO RECEIVE A PCS SCREEN OF APPROPRIATE SIZE TO REDUCE THE RADIUS TO MORE CLOSELY MATCH THE SPACING. REFER TO THE MANUFACTURER'S CHARTS PROVIDED WITH PCS SCREENS FOR SIZING OF SCREENS.

NETAFIM GUIDELINES

GENERAL GUIDELINES	SHRUB & GROUND COVER			
	CLAY SOIL	LOAM SOIL	SANDY SOIL	COARSE SOIL
EMITTER FLOW	0.26 GPH	0.4 GPH	0.6 GPH	0.9 GPH
EMITTER SPACING	18"	18"	12"	12"
LATERAL (ROW) SPACING	18" 21" 24"	18" 21" 24"	16" 18" 20"	16" 18" 20"
BURIAL DEPTH	On-surface or bury evenly throughout the zone to a maximum of 6"			
APPLICATION RATE (INCHES/HOUR)	0.19	0.16	0.14	0.20
TIME TO APPLY 1/2" OF WATER (MINUTES)	80	93	106	50

EMITTER SPACING	0.26 EMITTER		0.4 EMITTER		0.6 EMITTER		0.9 EMITTER	
	GPH	GPM	GPH	GPM	GPH	GPM	GPH	GPM
12"	26.4	0.44	42.3	0.71	60.8	1.01	92.5	1.54
18"	17.6	0.29	28.2	0.47	40.5	0.68	61.6	1.03
24"	-	-	-	-	30.4	0.51	46.2	0.77

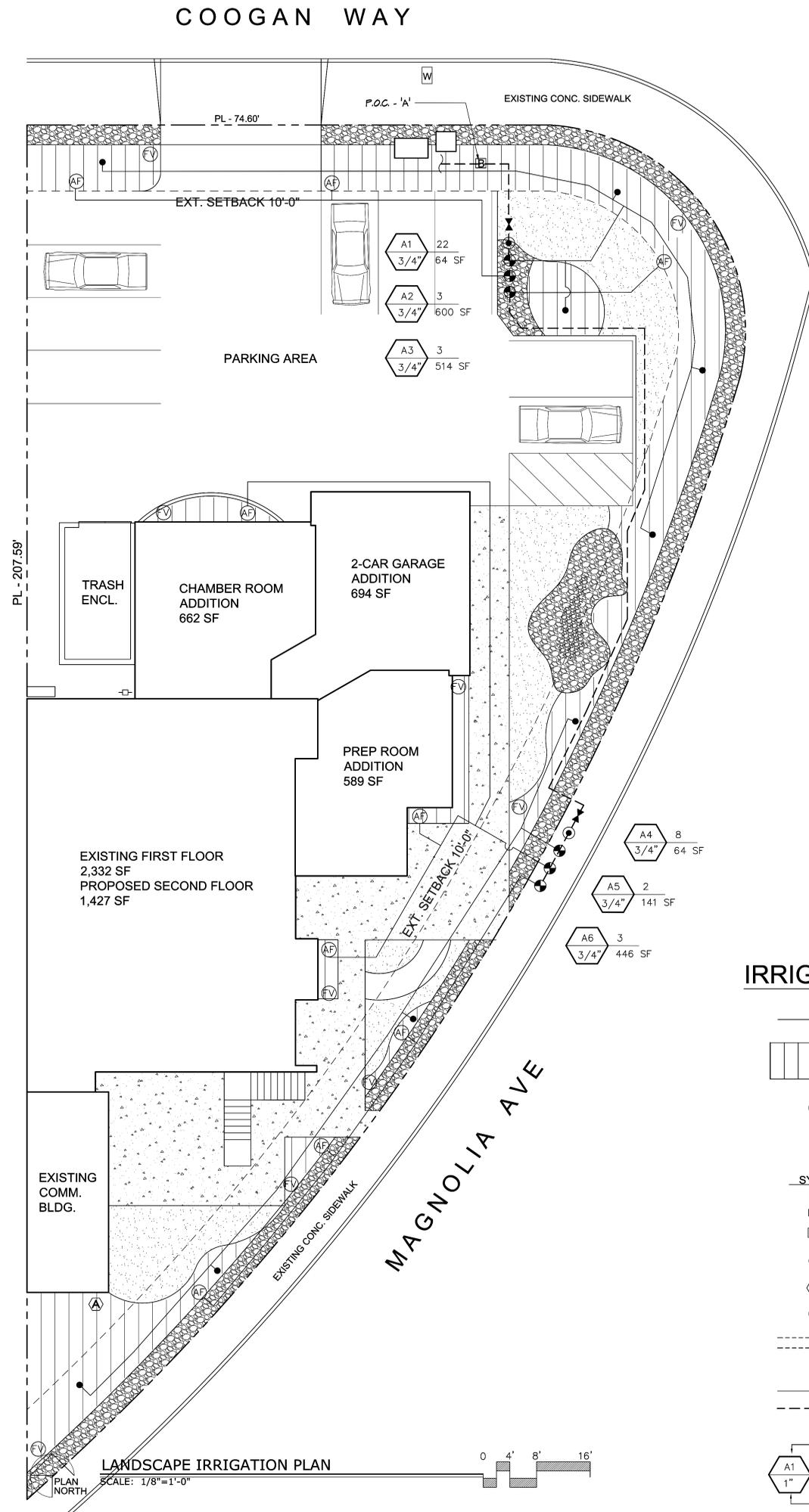
MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)

EMITTER SPACING	12"				18"				24"			
	0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9
20 psi	331	242	190	144	488	344	270	204	342	240	180	136
25 psi	413	302	238	180	594	429	338	257	430	326	250	188
35 psi	518	380	299	227	737	540	426	323	542	412	312	232
45 psi	594	436	343	260	845	620	489	371	622	472	358	272
55 psi	655	480	378	287	932	684	539	410	698	522	398	302
60 psi	681	500	393	298	969	713	561	426	716	544	412	312



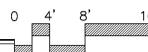
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TONY VITALE C.L. #942177 6/2/2022 DATE



LANDSCAPE IRRIGATION PLAN

SCALE: 1/8" = 1'-0"



WATER EFFICIENT LANDSCAPE WORKSHEET

Irrigation Point of Connection (P.O.C.) # A									
A	B	C	D	E	F	G	H	I	J
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (HA) (sf)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1	1	D	0.3	64	3%	19	0.81	23
A	2	2	D	0.3	600	33%	180	0.81	222
A	3	3	D	0.3	514	28%	154	0.81	190
A	4	4	D	0.3	64	3%	19	0.81	23
A	5	5	D	0.3	141	8%	42	0.81	52
A	6	6	D	0.3	446	24%	134	0.81	165
TOTAL					1,829	99%		1.0	675

SLA = Special Landscaped Area

Calculation: $[47.0 \times 0.62] [0.55 \times 1,829] + [0.45 \times 1.0]$

Maximum Allowed Water Allowance (MAWA) **29,326** GPY

Calculation: $[47.0 \times 0.62 \times 675]$

Estimated Total Water Use (ETWU) **19,670** GPY

KEY LEGEND

	BROOMED CONCRETE - 3000 PSI., 4" THICK, REBAR @ 24" O.C. (1,426 SQ.FT.)
	ARTIFICIAL TURF - GLOBAL SYNTURF, SUPERNATURAL GO W/HYBRID SAND (1,076 SQ.FT.)
	MULCHED AREA - ORGANIC SHREDDED MULCH, 3" THICK (1,716 SQ.FT.)
	RIVER ROCK - ARIZONA RIVER ROCK, 3"-4" DIAMETER W/WEEED CLOTH BELOW (1,152 SQ.FT.)

IRRIGATION LEGEND

	RAINBIRD (3 PER SYMBOL) HUNTER HALO-SPRAY HS-B-S TK	E/L3.0	
	NETAFIM TECHLINE CV DRIP LINE - EMITTERS AT 18" O.C.	F/L3.0	
	TECHLINE LINE FLUSHING VALVE	B/L3.0	
	TECHLINE AIR/VACUUM RELIEF VALVE	A/L3.0	
SYMBOL	MANUF.	MODEL NO. / DESCRIPTION	DETAILS
	EXISTING	WATER METER	
	NIBCO	4660-S PVC SCHEDULE 40 BALL VALVE, LINE SIZE	J/L3.0
	WILKINS	975 XL 1" REDUCED PRESSURE BACKFLOW DEVICE W/IA BRONZE WYE STRAINER WITH WILKINS 600 1" PRESSURE REGULATOR	G/L3.0
	RAIN BIRD	PEB SERIES - 3/4" PLASTIC REMOTE-CONTROL VALVE FOR LMD, USE AIR/VACUUM RELIEF AIR VENTS	I/L3.0
	RAIN BIRD	ESP-8MC SERIES, OUTDOOR WALL-MOUNT, AUTOMATIC CONTROLLER IN LOCKING BOX	H/L3.0
	HUNTER	RC - 3/4" QUICK COUPLER WITH YELLOW RUBBER COVER	L/L3.0
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING; AS NOTED: TWICE THE DIAMETER OF PIPE. ALL PIPE AND WIRE UNDER PAVING SHALL BE INSTALLED INSIDE A SEPARATE SLEEVE	
	AS APPROVED	PVC PIPE 3/4" SCH. 40 AS LATERAL LINES 12" BELOW GRADE	
	AS APPROVED	PVC PIPE 1" AS MAINLINE, SCH. 40, 18" BELOW GRADE	

	STATION
	G.P.M.
	AREA
	VALVE SIZE

LANDSCAPE LOGIC
 TONY VITALE
 www.MylandscapeLogic.com

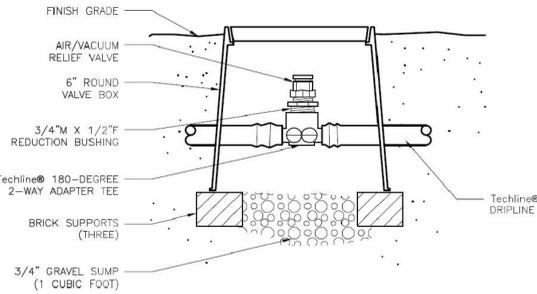
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LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM

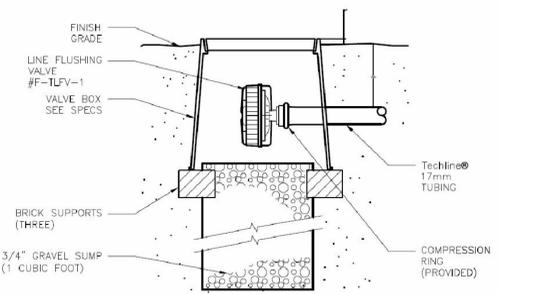
1034 MAGNOLIA AVE
 EL CAJON, CA 92020
 APN: 483-071-29-00

02 JUNE 2022

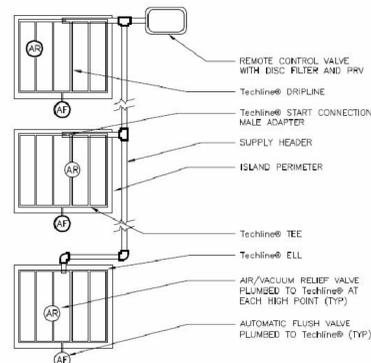
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 OF 3 SHEETS



A AIR/VACUUM RELIEF
NO SCALE

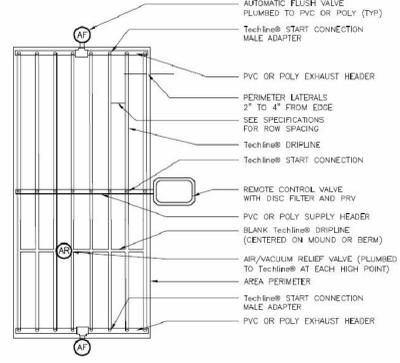


B CENTERFEED LAYOUT
NO SCALE



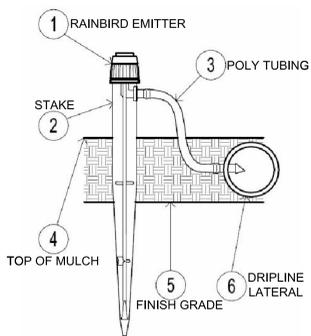
NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

C ISLAND LAYOUT
NO SCALE

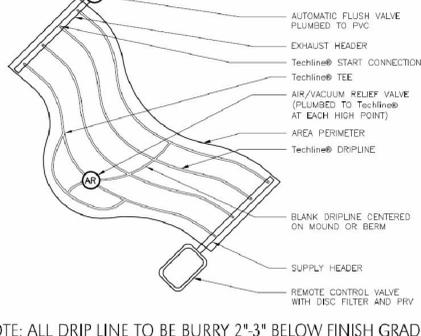


NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

D CENTERFEED LAYOUT
NO SCALE

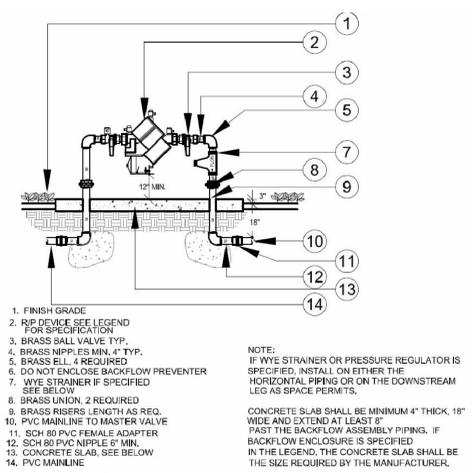


E DRIP EMITTER DTL.
NO SCALE

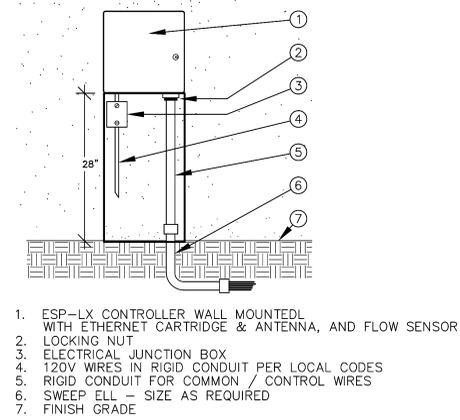


NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

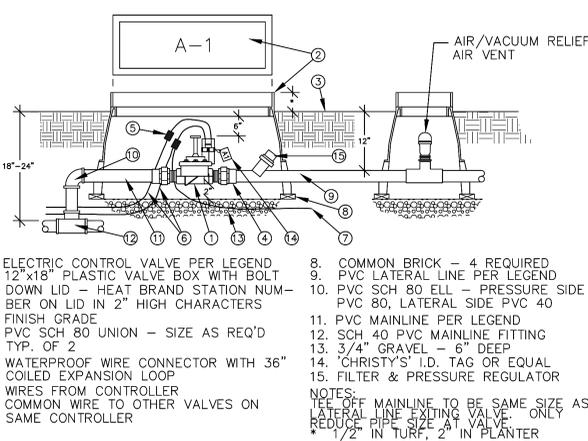
F NETAFIM DTL.
NO SCALE



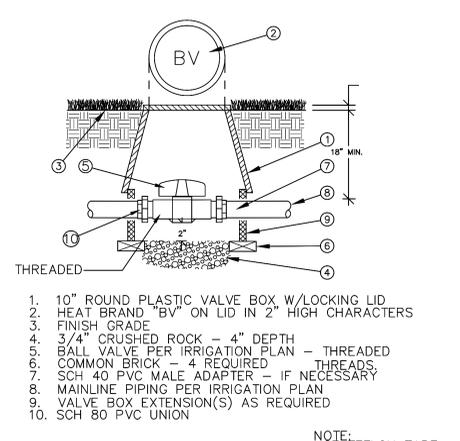
G BACKFLOW PREVENTER
NO SCALE



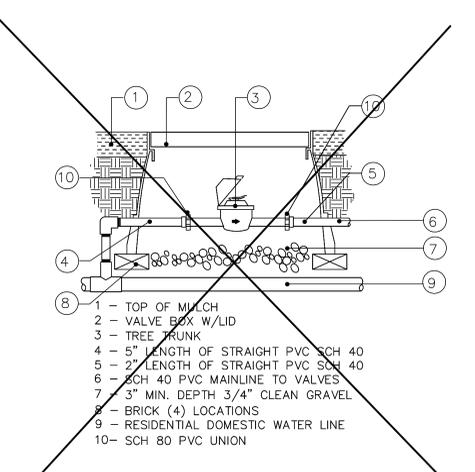
H AUTOMATIC TIMER ON SS PEDESTAL FOR LMD
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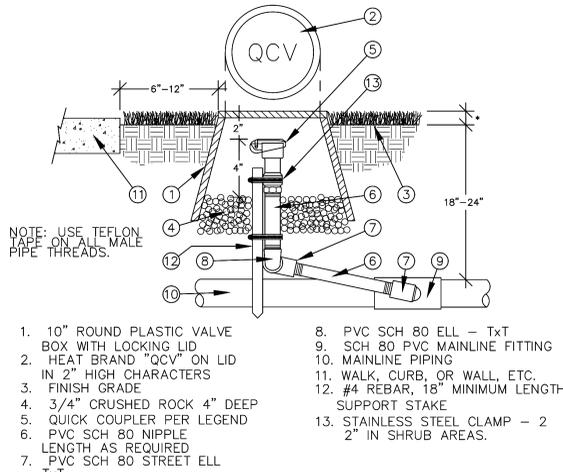
I REMOTE CONT. VALVE INST.
NO SCALE



J BALL VALVE INST.
NO SCALE



K PRIVATE SUB-METER
NO SCALE



L QUICK COUPLER VALVE IN LMD
NO SCALE

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4455 MORENA BLVD. #110
SAN DIEGO, CA 92108
TONY VITALE
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LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM

1034 MAGNOLIA AVE.
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APN: 463-074-29-00

02 JUNE 2022

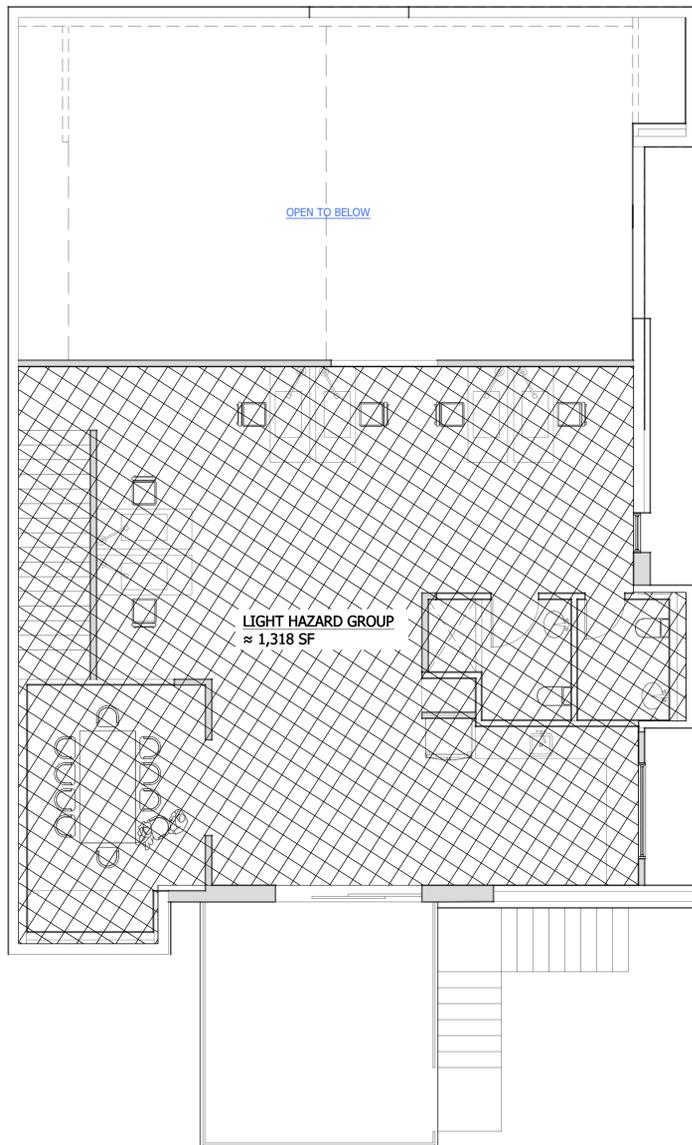
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OF 3 SHEETS

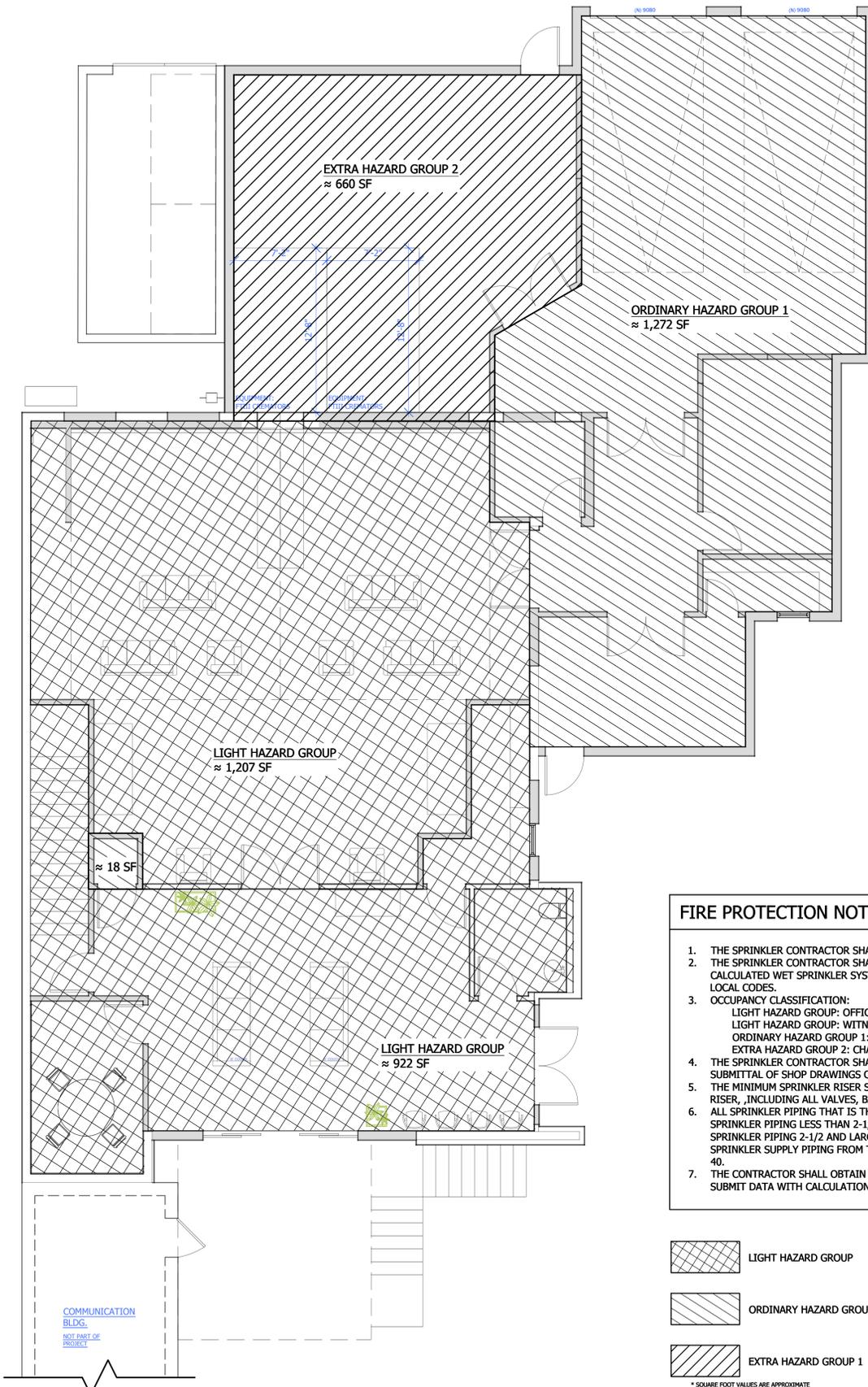
FIRE PROTECTION CONCEPT AND GENERAL REQUIREMENT

1. THE CONCEPT SHALL BE FINALIZED WITH A FULLY EXECUTED SET OF FIRE PROTECTION SHOP DRAWINGS BY A PROPERLY QUALIFIED TECHNICIAN.
2. THE SPRINKLER SYSTEM SHOWN IS CONCEPTUAL AND DIAGRAMMATIC ONLY. THE DESIGNER SHALL VERIFY FLOW REQUIREMENTS SHOWN ON SHEET. SHOP DRAWINGS FOR SPRINKLER SYSTEMS MUST INCLUDE AS A MINIMUM: LAYOUT OF RISERS, CROSS-MAINS, BRANCH LINES, SPRINKLER HEADS, SIZING OF PIPE, HANGER LOCATIONS, AND HYDRAULIC CALCULATIONS, IN ACCORDANCE WITH THE DESIGN CONCEPT.
3. THE FIRE PROTECTION CONTRACTOR SHALL PROVIDE COMPLETE FIRE SPRINKLING SYSTEMS, INCLUDING ALL ITEMS AS REQUIRED OR RECOMMENDED BY THE LOCAL FIRE DEPARTMENT.
4. ALL PIPING SHALL BE CONCEALED ABOVE CEILINGS EXCEPT IN AREAS WHERE NO CEILING OCCURS.
5. RUN SPRINKLING PIPING AS HIGH AS POSSIBLE IN SPACE ABOVE CEILING. PROVIDE OFFSETS UNDER STRUCTURAL MEMBERS AS REQUIRED.
6. IN AREAS WITH NO CEILING, PIPING TO BE RUN HIGH AS POSSIBLE TO COORDINATE WITH DUCTWORK.
7. FIRE PROTECTION SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND ACCEPTANCE.
8. FIRE SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13, ALL LOCAL APPLICABLE CODES, NFPA 99 AS WELL AS NFPA 30 WHERE APPLICABLE.
9. PIPE SLEEVES THROUGH FIRE-RATED FLOORS, WALLS, PARTITIONS, AND CEILINGS SHALL BE OF FIRE-RATED CONSTRUCTION. SPACE BETWEEN PIPE AND SLEEVE SHALL BE PACKED WITH U.L. LISTED FIRE PROOFING MATERIAL.
10. FIRE SPRINKLER HEADS IN INDIVIDUAL ROOMS TO BE RUN IN STRAIGHT LINE AND COORDINATED WITH CEILING SYSTEM.
11. FIRE SPRINKLER CONTRACTOR SHALL COORDINATE HIS LOCATION OF PIPING WITH THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL PLANS.
12. HEAD GUARDS TO BE PROVIDED IN ACCORDANCE WITH NFPA.
13. FIRE SPRINKLER TEST VALVES TO BE LOCATED IN AREAS CONVENIENT TO MAINTENANCE PERSONNEL.
14. FIRE SPRINKLER TEST VALVE LINES SHALL BE RUN CONCEALED IN WALL.
15. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN LATEST TEST PRESSURE DATA FROM LOCAL WATER DEPARTMENT FOR CALCULATIONS.

NO.	DESCRIPTION



SECOND FLOOR CONCEPTUAL PLAN
SCALE: 3/16" = 1'-0"
N



FIRST FLOOR CONCEPTUAL PLAN
SCALE: 3/16" = 1'-0"
N

FIRE PROTECTION NOTES

1. THE SPRINKLER CONTRACTOR SHALL BE CURRENTLY LICENSED IN THE STATE OF CALIFORNIA.
2. THE SPRINKLER CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE HYDRAULICALLY CALCULATED WET SPRINKLER SYSTEM. DESIGN SHALL BE IN ACCORDANCE WITH THE CURRENT LOCAL CODES.
3. OCCUPANCY CLASSIFICATION:
LIGHT HAZARD GROUP: OFFICE SPACE
LIGHT HAZARD GROUP: WITNESS CREMATION ROOM
ORDINARY HAZARD GROUP 1: MECHANICAL ROOMS
EXTRA HAZARD GROUP 2: CHAMBER ROOM
4. THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR PRIOR TO SUBMITTAL OF SHOP DRAWINGS OR FABRICATION OF PIPING SPOOLS.
5. THE MINIMUM SPRINKLER RISER SHALL BE 4' FROM THE BASE OF THE RISER TO THE TOP OF THE RISER, INCLUDING ALL VALVES, BACKFLOW PREVENTER, ETC.
6. ALL SPRINKLER PIPING THAT IS THREADED SHALL BE SCHEDULE 40. ASTM A53 OR A106. ALL SPRINKLER PIPING LESS THAN 2-1/2" IN DIAMETER SHALL BE SCHEDULE 40. ASTM A53 OR A106. ALL SPRINKLER PIPING 2-1/2" AND LARGER SHALL BE SCHEDULE 10 OR THICKER. ASTM A53 OR A106. ALL SPRINKLER SUPPLY PIPING FROM THE STREET MAIN TO THE SPRINKLER RISER SHALL BE SCHEDULE 40.
7. THE CONTRACTOR SHALL OBTAIN NEW FLOW TEST DATA ON THE CLOSEST CITY WATER MAIN AND SUBMIT DATA WITH CALCULATIONS.

	LIGHT HAZARD GROUP	(3,447) SF	.10 GPM/SF
	ORDINARY HAZARD GROUP 1	(1,290) SF	.15 GPM/SF
	EXTRA HAZARD GROUP 1	(660) SF	.30 GPM/SF

* SQUARE FOOT VALUES ARE APPROXIMATE



January 13, 2023

Noah Alvey
Deputy Director of Community Development
City of El Cajon

Re: Proposed Crematorium at 1034 N. Magnolia Avenue, El Cajon, CA

Dear Mr. Alvey:

I am General Counsel of Gershman Properties, LLC (“Gershman”), which is the owner of the Fletcher Marketplace, located at 110 and 120 Fletcher Parkway in El Cajon (the “Shopping Center”).

Gershman strongly recommends that the El Cajon Planning Commission (the “Commission”) deny the issuance of Conditional Use Permit No. 2022-0005 which would allow the property located at 1034 N. Magnolia Avenue to be operated as a crematorium. We believe that this use is entirely inconsistent with the Shopping Center in which Gershman has invested many millions of dollars and with the other commercial ventures in the immediate area, including the Home Depot and the hotel (Hampton Inn). We believe that the presence of the crematorium in the immediate area will impede our ability to attract high quality tenants to the area, which will limit job creation and hurt tax revenues for the City. We believe that a use such as a crematorium is much better suited for an industrial area.

Please feel free to contact me should you have any comments or questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Schelberg', written over a faint, larger version of the signature.

Kenneth J. Schelberg
General Counsel

GERSHMAN PROPERTIES